

Public participation is invited on each agenda item prior to the Board's deliberation. **When called upon, please approach the microphone and state your name and the address where you live. Kindly limit your remarks to three (3) minutes.**

VILLAGE OF VILLA PARK
Village Hall, Board Room Chambers
20 S. Ardmore Avenue
Villa Park, IL 60181

Planning and Zoning Commission

November 9, 2023

7:30 PM

Chairman Jason Jarrett

Commissioners: Larry Calvert, Edward Hofstra, Kenneth Jackson, Louis LeMieux Eric Luedtke,
Michael Orlowski, Dominick Romano, Justin Shlensky

- 1. Call to Order - Roll Call**
- 2. Approval of Minutes**
 - a. Minutes from October 12, 2023.
- 3. Public Hearing - New Business**
 - a. PZ-23-20 / 702 S. Summit Avenue / Variation to reduce the interior side yard setback / Petitioner: Jonathan Bernstein & Amanda Ciccone.
- 4. Discussion Items**
 - a. Comprehensive Plan / Subarea Boundaries
- 5. Public Comments on Non-Agenda Items**
- 6. Adjournment**

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VILLAGE OF VILLA PARK, ILLINOIS
PLANNING AND ZONING COMMISSION

IN RE THE MATTER OF:)
)
COMMISSION MINUTES)

MINUTES

OCTOBER 12, 2023

7:32 P.M.

REPORT OF PROCEEDINGS had before the
VILLAGE OF VILLA PARK PLANNING & ZONING
COMMISSION, held at the Villa Park Village Hall,
20 South Ardmore Avenue, Villa Park, Illinois,
commencing at 7:30 o'clock p.m., on Thursday,
the 12th day of October, 2023.

APPEARANCES: MR. JASON JARRETT, Chairman
 MR. ERIC LUEDTKE, Commissioner
 MR. LARRY CALVERT, Commissioner
 MR. JUSTIN SHLENSKY, Commissioner
 MR. EDWARD HOFSTRA, Commissioner
 MR. MICHAEL ORLOWSKI, Commissioner

ALSO PRESENT: MR. MARC McLAUGHLIN,
 Community Development

 MS. STEPHANIE BARAJAS,
 Community Development

REPORTED BY: NOREEN RESENDEZ, CSR, RPR, CRR

1 COMMISSIONER JARRETT: I call this
2 regular meeting of the Village of Villa Park
3 Planning and Zoning Commission to order.
4 Roll call:
5 Calvert?
6 COMMISSIONER CALVERT: Here.
7 COMMISSIONER JARRETT: Hofstra?
8 COMMISSIONER HOFSTRA: Here.
9 COMMISSIONER JARRETT: Jackson?
10 (No response.)
11 COMMISSIONER JARRETT: LeMieux?
12 (No response.)
13 COMMISSIONER JARRETT: Luedtke?
14 (No response.)
15 COMMISSIONER JARRETT: Orlowski?
16 (No response.)
17 COMMISSIONER JARRETT: Romano?
18 COMMISSIONER ROMANO: Here.
19 COMMISSIONER JARRETT: Shlensky?
20 COMMISSIONER SHLENSKY: Here.
21 COMMISSIONER JARRETT: I too am
22 present. With that we have a quorum. The
23 first item of business would be approval of
24 the minutes from September 14th, 2023.

1 Anybody have any questions,
2 comments, amendments to the minutes?
3 (No response.)
4 COMMISSIONER JARRETT: Is there a
5 motion?
6 COMMISSIONER CALVERT: Motion.
7 COMMISSIONER JARRETT: Motion approved.
8 Is there a second?
9 COMMISSIONER SHLENSKY: Second.
10 COMMISSIONER JARRETT: Second from
11 Shlensky. All in favor?
12 ALL PRESENT: Aye.
13 COMMISSIONER JARRETT: Any opposed?
14 (No response.)
15 COMMISSIONER JARRETT: All right. The
16 motion passes. The minutes are approved.
17 (Proceedings concluded at.
18 7:33 p.m.)
19
20
21
22
23
24

1
2 I, NOREEN RESENDEZ, Certified Shorthand
3 Reporter and Notary Public in and for the State of
4 Illinois do hereby certify that the foregoing
5 proceedings were reported stenographically by me,
6 was thereafter reduced to a printed transcript by
7 me, and constitutes a true record of the testimony
8 given and the proceedings had;

9 That I am not a relative or employee or
10 attorney or counsel, nor a relative or employee of
11 such attorney or counsel for any of the parties
12 hereto, nor interested directly or indirectly in
13 the outcome of this action.

14 IN WITNESS WHEREOF, I do hereunto set
15 my verified digital signature at Chicago,
16 Illinois, this 1st day of November, 2023.

17 *Noreen E. Resendez*
18

19 /s/ Noreen E. Resendez

20 Certified Shorthand Reporter

21 State of Illinois

22 CSR License No. 084-004182
23
24

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VILLAGE OF VILLA PARK, ILLINOIS
PLANNING AND ZONING COMMISSION

IN RE THE MATTER OF)
PZ 23-11, PZ 23-12, PZ 23-13, PZ 23-14, PZ 23-15)
PZ 23-16, PZ 23-17, PZ 23-18, PZ 23-19)

OCTOBER 12, 2023

7:33 P.M.

REPORT OF PROCEEDINGS had before the
VILLAGE OF VILLA PARK PLANNING & ZONING
COMMISSION, held at the Villa Park Village Hall,
20 South Ardmore Avenue, Villa Park, Illinois,
commencing at 7:30 o'clock p.m., on Thursday,
the 12th day of October, 2023.

APPEARANCES: MR. JASON JARRETT, Chairman
MR. ERIC LUEDTKE, Commissioner
MR. LARRY CALVERT, Commissioner
MR. JUSTIN SHLENSKY, Commissioner
MR. EDWARD HOFSTRA, Commissioner
MR. MICHAEL ORLOWSKI, Commissioner

ALSO PRESENT: MR. MARC McLAUGHLIN,
Community Development

MS. STEPHANIE BARAJAS,
Community Development

REPORTED BY: NOREEN RESENDEZ, CSR, RPR, CRR

1 COMMISSIONER JARRETT: So we have a
2 number of public hearings this evening. The
3 way the process works is we will start with
4 staff presentation and that would also be
5 presentation by the applicant tonight because
6 we are the same, and at that point if anybody
7 from the public wishes to speak or ask any
8 questions on each agenda item they can as
9 each item is up. And then we will ask any
10 questions up here if we have any, discussion
11 up here, and then a motion tonight, if
12 necessary.

13 If anyone thinks that are going to
14 speak tonight, I would ask you to rise and
15 get you sworn in real quick, anyone. Okay.

16 (Oath administered.)

17 COMMISSIONER JARRETT: All right. So
18 the way we're going to do this is -- so,
19 Marc, do you want to give your overarching
20 right now or once we get into the first item?

21 MR. MC LAUGHLIN: I can do that now if
22 you're good with that.

23 COMMISSIONER JARRETT: That's fine.

24 MR. MC LAUGHLIN: Excellent. This

1 evening the Village is the petitioner on nine
2 independent petitions, but they're all very,
3 very similar. Through the creation of the
4 2023 zoning map, which happened earlier this
5 year, we came across these nine areas that
6 were zoned PUD something, PUD-R, PUD-C,
7 PUD-I; and that caught me off guard because
8 PUDs are special use, and I wanted the map to
9 reflect what the actual zoning district was.
10 So we dove in to try to find what the
11 original zoning district was and we could
12 never find it. We went through all the
13 history of all of these nine petitions from
14 the annexation or original development and we
15 have found that many of these were zoned
16 specifically as to that PUD as it was
17 district. But as we know, the PUD
18 development is a special use. So that means
19 these nine does not have an underlying zoning
20 district, and the underlying zoning district
21 is what dictates what you can and cannot do
22 on this property above and beyond the actual
23 planned development.

24 So this is a clean up of our maps

1 and our ordinance so that when people come in
2 and say, hey, I'd like to rent out this unit
3 and I'm thinking about doing this business, I
4 can go to the zoning ordinance, look at your
5 underlying zoning district and say you are
6 good. Because these PUD ordinances did not
7 have its own independent use chart or bulk
8 chart, if it did I could live with it; but
9 since it doesn't it doesn't give us the rules
10 to regulate these properties. And that's on
11 all nine. On the specifics of them,
12 Stephanie, we'll get into as we go down the
13 agenda.

14 COMMISSIONER JARRETT: All right.
15 We'll start with the first item which is
16 PZ-23-11 for 1 Ovaltine Court, Zoning Map
17 Amendment from the PUD-R to the MX-T.

18 MS. BARAJAS: So is the big Ovaltine
19 development. Originally zoned as a PUD-I,
20 which kind of dates back to its original use
21 effectively. And then in 1987 it was rezoned
22 to a PUD-R, so more residential. At the time
23 of both PUD approvals, the property was
24 rezoned incorrectly as Marc said and neither

1 ordinance has established an underlying
2 zoning district. So our request for this
3 specific property is to rezone to mixed
4 transitional district. And the actual
5 request is not removing any of the standards
6 or regulations that the PUD -- the original
7 PUD established. So we believe MX-T is the
8 correct zoning district for this location
9 because it's off of Villa Avenue, which is
10 one of our MX districts. And besides the
11 location, the actual building form follows
12 the rules set by the MX-T district; so it has
13 commercial on the first floor and then
14 residential on the above-ground levels.
15 Parking is internal to the building. It is
16 located in the rear and is screened from the
17 street, which is exactly what this district
18 intends.

19 So Marc said already PUDs are
20 special uses and that's going to be a
21 repeated in each petition. But that's all
22 for this one.

23 COMMISSIONER JARRETT: Okay. Anyone
24 from the public wishing to speak?

1 (No response.)

2 COMMISSIONER JARRETT: Seeing no one.
3 Questions or discussion up here? I'm going
4 to combine them for expediency this evening.

5 COMMISSIONER SHLENSKY: I do have one
6 question possibly on the history that we're
7 going to get into or that you're describing.
8 How is it that an ordinance could have been
9 proposed, voted upon, and, you know,
10 subsequently passed to allow per ordinance
11 for each individual PUD -- the nine PUDs that
12 we're talking about later tonight without an
13 underlying zoning district?

14 MR. MC LAUGHLIN: So you will notice
15 that many of these happened in the very
16 similar era of Villa Park and at that time I
17 think it was a perfect storm of staff and
18 attorney that this is what they thought was
19 okay. Now that we've come many iterations of
20 new attorneys and new staff, we're realizing
21 this is not okay and we're the ones going in
22 and fixing it.

23 COMMISSIONER SHLENSKY: I do not mean
24 to ask a speculative question. However, it

1 somewhat irks me that it was done this way,
2 and I can understand, as you mentioned, the
3 cumulative nature of most of these being done
4 within a certain era. Is it in your opinion
5 or any additional historical value that you
6 can provide that may indicate that the zoning
7 map simply had not been developed or not been
8 developed well enough at the time?

9 MR. MC LAUGHLIN: So we -- through part
10 of this process, we have researched back as
11 all the zoning maps that we can get ahold of.
12 And they go back to the -- we have a set back
13 to the '40s, so no. The map was reflective
14 of a PUD at the time. So it's not a zoning
15 map error either.

16 COMMISSIONER SHLENSKY: Absent any --
17 prior to any eventual approval and passage of
18 the ordinance to allow for that specific PUD,
19 at that same time -- let's say immediately
20 prior though, there was no underlying zoning
21 map that spoke to that particular zoning
22 district, correct?

23 MR. MC LAUGHLIN: Yes and no. So in a
24 few instances it was annexed zoned to PUD.

1 So I have no history on that, correct, right.
2 There is other ones, like Oualtine right now,
3 PUD-I to a PUD-R and PUD-I was the first
4 zoning district. Other ones you have a B2 to
5 a PUD-C. But the B2 at that time no longer
6 exists today either because as you know in
7 2018, we changed the whole thing up with a
8 brand-new zoning ordinance and brand-new
9 zoning districts.

10 COMMISSIONER SHLENSKY: So is it then a
11 fair statement the area in question just
12 simply had not been zoned?

13 MR. MC LAUGHLIN: Or it was industrial,
14 part of the original formation.

15 COMMISSIONER SHLENSKY: That's where I
16 get the PUD-I from meaning industrial. Prior
17 to that, prior to the ordinance indicating
18 that the Village would pass an ordinance
19 indicating -- allowing a PUD-I status. Prior
20 to the PUD-I, I hear you that very well could
21 have been infrastructure or industrial in
22 that particular area. I'm just asking for
23 any evidence of any zoning that spoke to
24 that.

1 COMMISSIONER JARRETT: Ovaltine
2 predates any zoning ordinance in Villa Park.

3 COMMISSIONER SHLENSKY: Any zoning
4 ordinance?

5 COMMISSIONER JARRETT: I believe so.
6 The first zoning map was from 1940.

7 MR. MC LAUGHLIN: 1942 is the oldest
8 one I have.

9 COMMISSIONER JARRETT: And Ovaltine is
10 1920s.

11 COMMISSIONER SHLENSKY: That is the
12 history that I was looking for that there
13 simply was not a zoning map when the
14 actual --

15 MR. MC LAUGHLIN: With Ovaltine,
16 correct.

17 COMMISSIONER SHLENSKY: -- it had
18 already been developed?

19 MR. MC LAUGHLIN: Right. The 1942 map
20 has the Ovaltine area as B industrial. There
21 is also an A industrial, but I don't know
22 what those differentiate. But B industrial
23 1942, which then eventually became PUD-I, to
24 PUD-R, and in those ordinances there was no

1 underlying. It rezoned it to the language
2 specific to the language rezone to PUD-I,
3 which is not a district. It is a special
4 use.

5 COMMISSIONER SHLENSKY: That was Circa
6 1980?

7 MS. BARAJAS: 1975.

8 MR. MC LAUGHLIN: So Circa '80.

9 COMMISSIONER SHLENSKY: I'm looking at
10 the staff memo industrial in 1980 per
11 ordinance --

12 MS. BARAJAS: I'm looking at 1975.

13 COMMISSIONER SHLENSKY: 1900.

14 MS. BARAJAS: So I can see before --

15 COMMISSIONER SHLENSKY: Rezoned PUD-R
16 87 per ordinance 2265 and then prior to that
17 PUD-I 80. So to Stephanie's point it could
18 have been existing prior for the industrial
19 designation.

20 MR. MC LAUGHLIN: Yes. It was
21 industrial, correct.

22 COMMISSIONER SHLENSKY: Thank you.

23 MR. MC LAUGHLIN: It's definitely a
24 nuance. You're not going to see this edition

1 ever again.

2 COMMISSIONER JARRETT: As an example so
3 Chicago treats PDs as a zoning map amendment.
4 They have a zoning map amendment process, but
5 it doesn't change the underlying zoning and
6 the ordinance very clearly spells out -- I
7 mean the PUD ordinance for a PD in Chicago
8 could be 30, 40, 50 pages of type this size.
9 But they spell out what the underlying zoning
10 is, that if the PD goes away and it reverts,
11 it reverts to that zoning, and if the zoning
12 is being changed as a part of that planned
13 development process, which often happens,
14 because they may up zone a parcel at the same
15 time you apply a PD to it. Or if you're
16 combining a bunch of parcels, you might zone
17 them so it's all consistent zoning, that
18 would typically be part of the final
19 ordinance that would be drafted for approval.

20 MR. MC LAUGHLIN: And that particular
21 process, which other municipalities in
22 Illinois do, basically adopt a junior zoning
23 ordinance that is specific to that site.
24 That is not the case in this instance.

1 COMMISSIONER JARRETT: All right. Any
2 other questions or discussions on this
3 particular item?

4 (No response.)

5 COMMISSIONER JARRETT: If someone would
6 like to make a motion?

7 COMMISSIONER HOFSTRA: I'll make a
8 motion. I'd recommend approval of PZ-23-11
9 for a zoning map amendment for planned unit
10 development at residential PUD-R to mixed
11 transition district, MX-T.

12 COMMISSIONER JARRETT: We have a
13 motion. Is there a second?

14 COMMISSIONER SHLENSKY: Second.

15 COMMISSIONER JARRETT: We have a
16 second. Any questions or comments on the
17 motion?

18 (No response.)

19 COMMISSIONER JARRETT: Roll call vote:
20 Calvert?

21 COMMISSIONER CALVERT: Yes.

22 COMMISSIONER JARRETT: Hofstra?

23 COMMISSIONER HOFSTRA: Yes.

24 COMMISSIONER JARRETT: Romano?

1 COMMISSIONER ROMANO: Yes.

2 COMMISSIONER JARRETT: Shlensky?

3 COMMISSIONER SHLENSKY: Yes.

4 COMMISSIONER JARRETT: I too vote yes.
5 With that our recommendation will pass to the
6 Village Board.

7 Next item, PZ-23-12. For 1500
8 South Ardmore Avenue, Zoning Map Amendment
9 from PUD-R and O-R to the RM-9.

10 Whenever you're ready, Stephanie.

11 MS. BARAJAS: I'll start again with the
12 history on this one. Before it was PUD-R as
13 we know today, it was originally part of the
14 PUD-C for the Villa Oak Shopping Center. It
15 was also somewhat connected, then there was
16 Ordinance 2019 that amended the PUD to
17 exclude the property we're talking about
18 right now, and then a little bit after it was
19 rezoned to plan you unit development
20 residential. So it was splitting from the
21 commercial PUD, going to its own PUD-R. And
22 then at the time of the PUD approval, the
23 property, instead of issuing a special use,
24 was rezoned from PUD-C to PUD-R and this

1 ordinance does not establish an underlying
2 zoning district.

3 So we are seeking to rezone the
4 subject property to residential multi-unit
5 district; and, again, we are not removing any
6 of the standards or regulations set forth by
7 the PUD-R.

8 The reason why we believe it
9 should be under RM-9 is because it's a
10 residential, it's a large condo building, and
11 it's the zoning district that most closely
12 fits the existing use of the building.

13 COMMISSIONER JARRETT: Thank you.
14 Anyone from the public wishing to speak on
15 this item?

16 (No response.)

17 COMMISSIONER JARRETT: Seeing none.
18 Questions or discussion?

19 COMMISSIONER HOFSTRA: For any of the
20 owners that are listed on that first page at
21 all, how does our changing this impact them?

22 MS. BARAJAS: None at all. By
23 assigning an underlying zoning district, it's
24 more ensuring that we have a set of standards

1 besides the PUD that we can use for the
2 parcel. I did miss one thing that a section
3 of this parcel was zoned office research. It
4 is like the northeastern corner. It's the
5 storm water basin. So the property next --
6 the two properties next to it to the east are
7 office research, but the reason why is
8 unclear. So we would be changing O-R to RM-9
9 as well.

10 MR. MC LAUGHLIN: It's one of the cases
11 where we have two zoning districts on one
12 parcel; but as we continue to do additional
13 clean ups, we are moving away from that
14 practice.

15 COMMISSIONER JARRETT: Was that
16 potentially a map error when the map was
17 redrawn recently or does it go back farther
18 than that, do you know?

19 MR. MC LAUGHLIN: I think it goes back
20 to while they were trying to develop, they
21 realized they needed to include additional
22 property for storm water and acquired it from
23 the other pieces that was zoned O-R, and then
24 for the final development process created a

1 one lot subdivision as you see now but didn't
2 go back and change the zoning.

3 COMMISSIONER JARRETT: Okay. Any other
4 questions or discussion?

5 MR. MC LAUGHLIN: For note, the
6 preliminary plan development did not have
7 storm water on it, but then the final plan
8 did.

9 COMMISSIONER JARRETT: If there's no
10 questions or discussions, then a motion,
11 please.

12 COMMISSIONER SHLENSKY: Motion to
13 recommend approval of PZ-23-12 for a zoning
14 map amendment for planned unit development
15 residential PUD-R and office research, O-R,
16 to residential multi unit district 9,000
17 square feet RM-9.

18 COMMISSIONER JARRETT: Second?

19 COMMISSIONER HOFSTRA: Second.

20 COMMISSIONER JARRETT: There's a motion
21 and a second. Questions or comments on the
22 motion?

23 (No response.)

24 COMMISSIONER JARRETT: Roll call:

1 Calvert?

2 COMMISSIONER CALVERT: Yes.

3 COMMISSIONER JARRETT: Hofstra?

4 COMMISSIONER HOFSTRA: Yes.

5 COMMISSIONER JARRETT: Romano?

6 COMMISSIONER ROMANO: Yes.

7 COMMISSIONER JARRETT: Shlensky?

8 COMMISSIONER SHLENSKY: Yes.

9 COMMISSIONER JARRETT: I too vote yes.

10 With that our recommendation will pass to the
11 Village Board.

12 Next is PZ-23-13 for 1535 to 1545
13 South Ardmore Avenue, zoning Map Management
14 from the PUD-R to RM-9.

15 Whenever you're ready, Stephanie.

16 MS. BARAJAS: So this property is
17 actually -- or these properties are across
18 the street from 1500 South Ardmore, the one
19 we just talked about. This is one of the
20 cases where the property was annexed into the
21 village and then rezoned directly to planned
22 unit development. At the time of the PUD-R
23 approval, it was not, obviously, assigned an
24 underlying zoning district. So the district

1 that we believe fits this property is RM-9 as
2 well. This is -- it's about -- the use of
3 the buildings is multiunit and that's exactly
4 what RM-9 is -- what the RM-9 zoning district
5 is used for.

6 COMMISSIONER JARRETT: Anyone from the
7 public wish to speak on this?

8 (No response.)

9 COMMISSIONER JARRETT: Seeing no one.
10 Questions or discussion?

11 (No response.)

12 COMMISSIONER JARRETT: Motion please.

13 COMMISSIONER HOFSTRA: Motion to
14 recommend approval of PZ-23-13 for zoning map
15 amendment from planned unit development
16 residential, PUD-R, to residential multiunit
17 district, 9,000 square feet, RM-9.

18 COMMISSIONER JARRETT: Motion. Is
19 there a second?

20 COMMISSIONER ROMANO: Second.

21 COMMISSIONER JARRETT: We have a motion
22 and a second. Questions or comments on the
23 motion?

24 (No response.)

1 COMMISSIONER JARRETT: Roll call:
2 Calvert?

3 COMMISSIONER CALVERT: Yes.

4 COMMISSIONER JARRETT: Hofstra?

5 COMMISSIONER HOFSTRA: Yes.

6 COMMISSIONER JARRETT: Romano?

7 COMMISSIONER ROMANO: Yes.

8 COMMISSIONER JARRETT: Shlensky?

9 COMMISSIONER SHLENSKY: Yes.

10 COMMISSIONER JARRETT: I too vote yes.
11 With that our recommendation will pass to the
12 Village Board.

13 Next item is PZ-23-14 for 50 East
14 North Avenue, zoning map amendment from the
15 PUD-C to the C-3. All right, Stephanie.

16 MS. BARAJAS: So this property is also
17 commonly known as Target. It was rezoned
18 from R-1, which is the residential district
19 and C-3, commercial district, to a planned
20 unit development commercial district in 1993.
21 Later the final development plan for Target
22 was approved and at the time that that final
23 development plan was approved, they obviously
24 did not assign an underlying zoning district,

1 so the request today is to zone to commercial
2 service business district C-3 and we think
3 that the C-3 district is the appropriate
4 district because it's intended to accommodate
5 automobile oriented retail and services, and
6 this is off of North Avenue, which is one of
7 our auto oriented commercial corridors. And
8 the surrounding properties to the south,
9 east, and west are also zoned C-3.

10 COMMISSIONER JARRETT: Okay. Anyone
11 from the public wish to speak on this item?

12 (No response.)

13 COMMISSIONER JARRETT: Questions or
14 discussion from the board?

15 (No response.)

16 COMMISSIONER JARRETT: All right. Then
17 motion, please?

18 COMMISSIONER ROMANO: I'll make a
19 motion to recommend approval of PZ-23-14 for
20 Zoning Map Amendments from planned unit
21 development commercial, PUD-C, to commercial
22 service business district, C-3.

23 COMMISSIONER JARRETT: Motion. Is
24 there a second?

1 COMMISSIONER HOFSTRA: Second.

2 COMMISSIONER JARRETT: Motion and a
3 second. Questions or comments on the motion?
4 (No response.)

5 COMMISSIONER JARRETT: Roll call:
6 Calvert?

7 COMMISSIONER CALVERT: Yes.

8 COMMISSIONER JARRETT: Hofstra?

9 COMMISSIONER HOFSTRA: Yes.

10 COMMISSIONER JARRETT: Romano?

11 COMMISSIONER ROMANO: Yes.

12 COMMISSIONER JARRETT: Shlensky?

13 COMMISSIONER SHLENSKY: Yes.

14 COMMISSIONER JARRETT: I too vote yes.
15 With that our recommendation will pass to the
16 Village Board.

17 Next PZ-23-15 for 206 to 306 West
18 North Avenue, Zoning Map Amendment from PUD-C
19 to C-3. Whenever you're ready, Stephanie.

20 MS. BARAJAS: So the zoning of this
21 property is a PUD-C. It dates back to 1972.
22 Before that it was R-2 single-family district
23 and C-2 neighborhood business district.
24 There isn't any other changes from that.

1 They just went straight to PUD-C and that's
2 what it stayed since 1972. Just like the one
3 before, we believe C-3 is the appropriate
4 zoning district. Again, this is off of North
5 Avenue, which is auto oriented and there are
6 also properties surrounding it that are C-3.

7 COMMISSIONER JARRETT: All right.
8 Anyone from the public wish to speak on this
9 item?

10 (No response.)

11 COMMISSIONER JARRETT: Questions or
12 discussion from the commission?

13 (No response.)

14 COMMISSIONER JARRETT: All right.
15 Motion, please?

16 COMMISSIONER HOFSTRA: I'll motion to
17 recommend approval of PZ-23-15 for Zoning Map
18 Amendment from planned unit development to
19 commercial, PUD-C, to commercial service
20 business district, C-3.

21 COMMISSIONER JARRETT: Motion. Is
22 there a second?

23 COMMISSIONER ROMANO: Second.

24 COMMISSIONER JARRETT: Questions or

1 comments on the motion?

2 (No response.)

3 COMMISSIONER JARRETT: Roll call:

4 Calvert?

5 COMMISSIONER CALVERT: Yes.

6 COMMISSIONER JARRETT: Hofstra?

7 COMMISSIONER HOFSTRA: Yes.

8 COMMISSIONER JARRETT: Romano?

9 COMMISSIONER ROMANO: Yes.

10 COMMISSIONER JARRETT: Shlensky?

11 COMMISSIONER SHLENSKY: Yes.

12 COMMISSIONER JARRETT: I too vote yes.

13 With that our recommendation will pass to the
14 Village Board.

15 PZ-23-16 for 712-724 North Villa
16 Avenue, 346 East Hill Street, 345 East
17 Schiller Street, Zoning Map Amendment from
18 PUD-R to RM-9.

19 Whenever you're ready, Stephanie.

20 MS. BARAJAS: This one also dates back
21 to the '70s. So in 1972 the property was
22 annexed into the village per Ordinance 1328.
23 And then right after Ordinance 1329
24 effectively rezoned the property to a PUD-R,

1 and then it has remained PUD-R the entire
2 time and this is our last residential
3 property that we are requesting today. So
4 this one would also be going into RM-9
5 because it's multiunit residential as the
6 others. And so the existing use and the
7 existing buildings fit the RM-9
8 classification.

9 COMMISSIONER JARRETT: Thank you.
10 Anyone from the public wish to speak on this
11 item?

12 (No response.)

13 COMMISSIONER JARRETT: Questions or
14 discussion from the commission?

15 COMMISSIONER SHLENSKY: This is the
16 apartment complex, right?

17 COMMISSIONER JARRETT: Correct.

18 Any other questions or comments?

19 (No response.)

20 COMMISSIONER JARRETT: Motion, please.

21 COMMISSIONER ROMANO: Motion to
22 recommend approval of PZ-23-16 for zoning map
23 amendment from plan unit development
24 residential, PUD-R, to residential multiunit

1 district 9,000 square feet, RM-9.

2 COMMISSIONER JARRETT: We have a
3 motion. Is there a second?

4 COMMISSIONER HOFSTRA: Second.

5 COMMISSIONER JARRETT: We have a motion
6 and a second. Any questions or comments on
7 the motion?

8 (No response.)

9 COMMISSIONER JARRETT: Roll call:
10 Calvert?

11 COMMISSIONER CALVERT: Yes.

12 COMMISSIONER JARRETT: Hofstra?

13 COMMISSIONER HOFSTRA: Yes.

14 COMMISSIONER JARRETT: Romano?

15 COMMISSIONER ROMANO: Yes.

16 COMMISSIONER JARRETT: Shlensky?

17 COMMISSIONER SHLENSKY: Yes.

18 COMMISSIONER JARRETT: I too vote yes.
19 With that our recommendation passes to the
20 Village Board.

21 Next item, PZ-23-17 for 851 North
22 Villa Avenue, Zoning Map amendment from PUD-C
23 to O-R.

24 MS. BARAJAS: So in 1988 after

1 annexation the property was rezoned from R-1
2 to planned unit development commercial. This
3 did not assign an underlying zoning district
4 at all to the property, but the historic use
5 of the building has been office related; so
6 we believe that the office research zoning
7 district fits the existing and historic use
8 of the parcel.

9 COMMISSIONER JARRETT: All right.
10 Anyone from the public wish to speak on this?

11 (No response.)

12 COMMISSIONER JARRETT: Seeing no one.
13 Questions or discussion from the commission?

14 COMMISSIONER SHLENSKY: What is the
15 current business that is there?

16 MS. BARAJAS: Vacant.

17 COMMISSIONER SHLENSKY: Oh, okay.
18 Vacant.

19 COMMISSIONER JARRETT: It's a two-story
20 commercial.

21 COMMISSIONER SHLENSKY: I pass it all
22 the time. I never stopped in because I
23 didn't know what it was.

24 MR. MC LAUGHLIN: Vacant and for sale.

1 COMMISSIONER SHLENSKY: And likely the
2 best use for this is O-R?

3 MR. MC LAUGHLIN: Yes. We've seen --
4 part of the research was looking at the floor
5 plans. It's an office building.

6 COMMISSIONER JARRETT: Okay. We had an
7 applicant for a cannabis dispensary there
8 many moons ago, like in the early days of
9 medicinal.

10 MR. MC LAUGHLIN: Which did not come to
11 fruition.

12 COMMISSIONER JARRETT: Correct.
13 Motion?

14 COMMISSIONER SHLENSKY: I'll make a
15 motion to recommend approval of PZ-23-17 for
16 a Zoning Map Amendment from planned unit
17 development commercial, PUD-C, to office
18 research O-R.

19 COMMISSIONER JARRETT: Motion is there
20 a second?

21 COMMISSIONER HOFSTRA: Second.

22 COMMISSIONER JARRETT: We have a
23 second. Questions or comments on the motion?
24 (No response.)

1 COMMISSIONER JARRETT: Roll call:
2 Calvert?

3 COMMISSIONER CALVERT: Yes.

4 COMMISSIONER JARRETT: Hofstra?

5 COMMISSIONER HOFSTRA: Yes.

6 COMMISSIONER JARRETT: Romano?

7 COMMISSIONER ROMANO: Yes.

8 COMMISSIONER JARRETT: Shlensky?

9 COMMISSIONER SHLENSKY: Yes.

10 COMMISSIONER JARRETT: I too vote yes.
11 With that our recommendation will pass to the
12 Village Board.

13 Now we have PZ-23-18 for 880 North
14 Addison Road, Zoning Map Amendment from PUD-I
15 to M-1.

16 MS. BARAJAS: So this one was annexed
17 into the village and rezoned into the planned
18 unit development industrial in 1991. It has
19 remained a PUD-I this entire time and the use
20 of the district has been industrial, so we
21 think that the appropriate zoning district
22 here is M-1 as it is intended to accommodate
23 small-scale and low-impact industrial and
24 service uses.

1 COMMISSIONER JARRETT: Okay. Anyone
2 from the public wish to speak on this?

3 (No response.)

4 COMMISSIONER JARRETT: Questions or
5 discussion from the commission?

6 (No response.)

7 COMMISSIONER JARRETT: Okay. Motion?

8 COMMISSIONER HOFSTRA: I'll make a
9 motion to recommend approval of PZ-23-18 for
10 a Zoning Map Amendment from planned unit
11 development commercial, PUD-C, to light
12 industrial district, M-1.

13 COMMISSIONER JARRETT: We have a
14 motion. Is there a second.

15 COMMISSIONER ROMANO: I'll second.

16 COMMISSIONER JARRETT: Motion is
17 seconded. Questions or comments on the
18 motion?

19 (No response.)

20 COMMISSIONER JARRETT: Roll call:
21 Calvert?

22 COMMISSIONER CALVERT: Yes.

23 COMMISSIONER JARRETT: Hofstra?

24 COMMISSIONER HOFSTRA: Yes.

1 COMMISSIONER JARRETT: Romano?

2 COMMISSIONER ROMANO: Yes.

3 COMMISSIONER JARRETT: Shlensky?

4 COMMISSIONER SHLENSKY: Yes.

5 COMMISSIONER JARRETT: I too vote yes.

6 With that our recommendation passes to the
7 Village Board.

8 Now we have last but not least,
9 PZ-23-19 for 900 South Illinois Route 83,
10 Zoning Map Amendment from PUD-C to C-3.
11 Stephanie.

12 MS. BARAJAS: So I was just thinking in
13 my head we did Target now we're doing
14 Walmart. So this property was rezoned from
15 R-1 and O-R office research to a planned unit
16 development commercial in 1991. The final
17 development plan for Walmart was also
18 approved under the same ordinance, and they
19 did not assign an underlying zoning district
20 for the property. So the -- we think that
21 the C-3 zoning district again is the most
22 appropriate zoning district for this one. It
23 is off of Illinois Route 83. It is
24 large-scale shopping. So we think it meets

1 the intent of the C-3 district.

2 COMMISSIONER JARRETT: Anyone from the
3 public wish to speak on this one?

4 (No response.)

5 COMMISSIONER JARRETT: I don't see
6 anybody. Discussion or questions from the
7 commission?

8 (No response.)

9 COMMISSIONER JARRETT: Motion?

10 COMMISSIONER ROMANO: I'll make a
11 motion to recommend approval of PZ-23-19 for
12 Zoning Map Amendment from planned development
13 commercial, PUD-C, to commercial services
14 service business district, C-3.

15 COMMISSIONER JARRETT: I have a motion.
16 Is there a second?

17 COMMISSIONER SHLENSKY: Second.

18 COMMISSIONER JARRETT: I have a second.
19 Questions or comments on the motion?

20 (No response.)

21 COMMISSIONER JARRETT: All right. Roll
22 call:

23 Calvert?

24 COMMISSIONER CALVERT: Yes.

1 COMMISSIONER JARRETT: Hofstra?

2 COMMISSIONER HOFSTRA: Yes.

3 COMMISSIONER JARRETT: Romano?

4 COMMISSIONER ROMANO: Yes.

5 COMMISSIONER JARRETT: Shlensky?

6 COMMISSIONER SHLENSKY: Yes.

7 COMMISSIONER JARRETT: I too vote yes.

8 With that our recommendation will pass to the
9 Village Board.

10 And that is the rest of our
11 regular business.

12 (Proceedings concluded at.
13 8:04 p.m.)

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1 I, NOREEN RESENDEZ, Certified Shorthand
2 Reporter and Notary Public in and for the State of
3 Illinois do hereby certify that the foregoing
4 proceedings were reported stenographically by me,
5 was thereafter reduced to a printed transcript by
6 me, and constitutes a true record of the testimony
7 given and the proceedings had;

8 That I am not a relative or employee or
9 attorney or counsel, nor a relative or employee of
10 such attorney or counsel for any of the parties
11 hereto, nor interested directly or indirectly in
12 the outcome of this action.

13 IN WITNESS WHEREOF, I do hereunto set
14 my verified digital signature at Chicago,
15 Illinois, this 1st day of November, 2023.

16
17 *Noreen E. Resendez*
18 /s/ Noreen E. Resendez

19 Certified Shorthand Reporter
20 State of Illinois
21 CSR License No. 084-004182
22
23
24

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VILLAGE OF VILLA PARK, ILLINOIS
PLANNING AND ZONING COMMISSION

IN RE THE MATTER OF:)
)
COMMISSION DISCUSSION)

DISCUSSION
OCTOBER 12, 2023

7:30 P.M.

REPORT OF PROCEEDINGS had before the
VILLAGE OF VILLA PARK PLANNING & ZONING
COMMISSION, held at the Villa Park Village Hall,
20 South Ardmore Avenue, Villa Park, Illinois,
commencing at 7:30 o'clock p.m., on Thursday,
the 12th day of October, 2023.

APPEARANCES: MR. JASON JARRETT, Chairman
MR. ERIC LUEDTKE, Commissioner
MR. LARRY CALVERT, Commissioner
MR. JUSTIN SHLENSKY, Commissioner
MR. EDWARD HOFSTRA, Commissioner
MR. MICHAEL ORLOWSKI, Commissioner

ALSO PRESENT: MR. MARC McLAUGHLIN,
Community Development

MS. STEPHANIE BARAJAS,
Community Development

REPORTED BY: NOREEN RESENDEZ, CSR, RPR, CRR

1 COMMISSIONER JARRETT: Is there anyone
2 wishing to make public comments on non agenda
3 items this evening?

4 (No response.)

5 COMMISSIONER JARRETT: Not seeing
6 anyone. Marc, any updates?

7 MR. MC LAUGHLIN: We will have the
8 November planning and zoning with a regular
9 petition and Houseal Lavigne with an update
10 on our comprehensive plan. The conversation
11 will be specific to the sub areas that will
12 then create the sub area plans.

13 COMMISSIONER JARRETT: I was going to
14 ask for an update on the conference of plans.

15 MR. MC LAUGHLIN: And they are wrapping
16 up the existing conditions memo now, but I
17 don't believe it will be ready for public
18 discussion by that November date.

19 COMMISSIONER JARRETT: And I believe
20 all of the items that we've sent out up here
21 have been voted on; is that accurate?

22 MR. MC LAUGHLIN: Okay. For petitions?

23 COMMISSIONER JARRETT: Yes.

24 MR. MC LAUGHLIN: Yep.

1 COMMISSIONER JARRETT: So we're all
2 caught up. And we're sending nine? These
3 should be easy.

4 MR. MC LAUGHLIN: Absolutely.

5 COMMISSIONER JARRETT: All right. Any
6 comments from the commission on anything?

7 (No response.)

8 COMMISSIONER JARRETT: All right. I
9 move that we adjourn. Is there a second?

10 COMMISSIONER HOFSTRA: Second.

11 COMMISSIONER JARRETT: All in favor?

12 ALL PRESENT: Aye.

13 COMMISSIONER JARRETT: We are
14 adjourned.

15 (Proceedings concluded at.

16 8:06 p.m.)

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1 I, NOREEN RESENDEZ, Certified Shorthand
2 Reporter and Notary Public in and for the State of
3 Illinois do hereby certify that the foregoing
4 proceedings were reported stenographically by me,
5 was thereafter reduced to a printed transcript by
6 me, and constitutes a true record of the testimony
7 given and the proceedings had;

8 That I am not a relative or employee or
9 attorney or counsel, nor a relative or employee of
10 such attorney or counsel for any of the parties
11 hereto, nor interested directly or indirectly in
12 the outcome of this action.

13 IN WITNESS WHEREOF, I do hereunto set
14 my verified digital signature at Chicago,
15 Illinois, this 1st day of November, 2023.

16 *Noreen E. Resendez*
17

18 /s/ Noreen E. Resendez
19 Certified Shorthand Reporter
20 State of Illinois
21 CSR License No. 084-004182
22
23
24

8	H	R
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Village of Villa Park

Community & Economic Development, 11 W. Home Avenue, Villa Park, IL 60181



TO: Planning & Zoning Commission
FROM: Community & Economic Development Department
DATE: November 9, 2023
RE: **Petition PZ-23-20 / 702 S Summit Ave / Variation**

Petitioner: Village of Villa Park
20 S Ardmore Ave
Villa Park, IL 60181

Owner: Jonathan Bernstein & Amanda Ciccone
702 S Summit Ave
Villa Park, IL 60181

Request Summary:

The Petitioner is requesting a Public Hearing to consider a request for a Variation from Table 2-3 of Article 2, Section 2.3. – Lot and Building Regulations of the Zoning Ordinance to reduce the required minimum side yard setback from 6 feet to 5 feet in order to build a second story addition.

Site Information

Present Zoning: Residential Single Dwelling District – 7,000 sq. ft. (RS-7.5)
Present Land Use: Single Dwelling Residential
Property Size: 9,966.5 sq. ft. / 0.23 acres
PIN: 06-10-307-036

Surrounding Zoning

North: Residential Single-Dwelling District - 7,000 sq. ft. (RS-7.5)
West: Residential Single-Dwelling District - 7,000 sq. ft. (RS-7.5)
East: Residential Single-Dwelling District - 7,000 sq. ft. (RS-7.5)
South: Residential Single-Dwelling District - 7,000 sq. ft. (RS-7.5)

Surrounding Land Use

Single-Dwelling Residential
Single-Dwelling Residential
Single-Dwelling Residential
Single-Dwelling Residential

Comprehensive Plan Designation – Single-Family Residential

This land use category is intended for detached single-family residential dwellings of generally one to two stories in height. This classification encompasses most of the Village's established residential neighborhoods.

Zoning Request

The Subject Property has a one-story single dwelling structure with a nonconforming side yard setback of 5.1 feet. The Petitioner is proposing to build a second-story addition directly over the current structure. By building vertically, the encroachment into the side yard setback would be increased. Per Article 13 of the Zoning Ordinance, a structure with a nonconforming setback may not be expanded horizontally or vertically within the required setback area.

The petitioner is requesting approval for a Variation to reduce the required minimum side yard setback. The requested minimum side yard setback is 5 feet, where a minimum of 6 feet is required by the Zoning Ordinance.

Internal Staff Review

The Zoning Ordinance specifically allows for Variation petitions in order to grant relief to a property owner from strict compliance with the regulations of the Zoning Ordinance. Variations are intended to help alleviate a practical difficulty or particular hardship that would be caused by the literal enforcement of the subject ordinance requirements and are site specific.

A second-story addition is allowed by the building code and Zoning Ordinance by right. Sheet A-1 of Exhibit A shows that the setback encroachment would not increase horizontally, only vertically. The footprint of the structure will not be changing. The Plat of Survey in Exhibit A shows the existing conditions to compare with the site plan. Additionally, it shows that there is a driveway along the western property line where the principal structure is encroaching, which provides additional separation from the neighboring structure.

Notification:

Legal Notice was published in the Daily Herald on October 23, 2023 in advance of the Public Hearing.

Staff Recommendation:

Village staff has reviewed the petition and is supportive of the request.

Recommended Action:

To recommend approval of PZ-23-20 for a Variation from Table 2-3 of Article 2 Section 2.3. – Lot and Building Regulations of the Zoning Ordinance to reduce the required minimum side yard setback requirement to 5 feet.



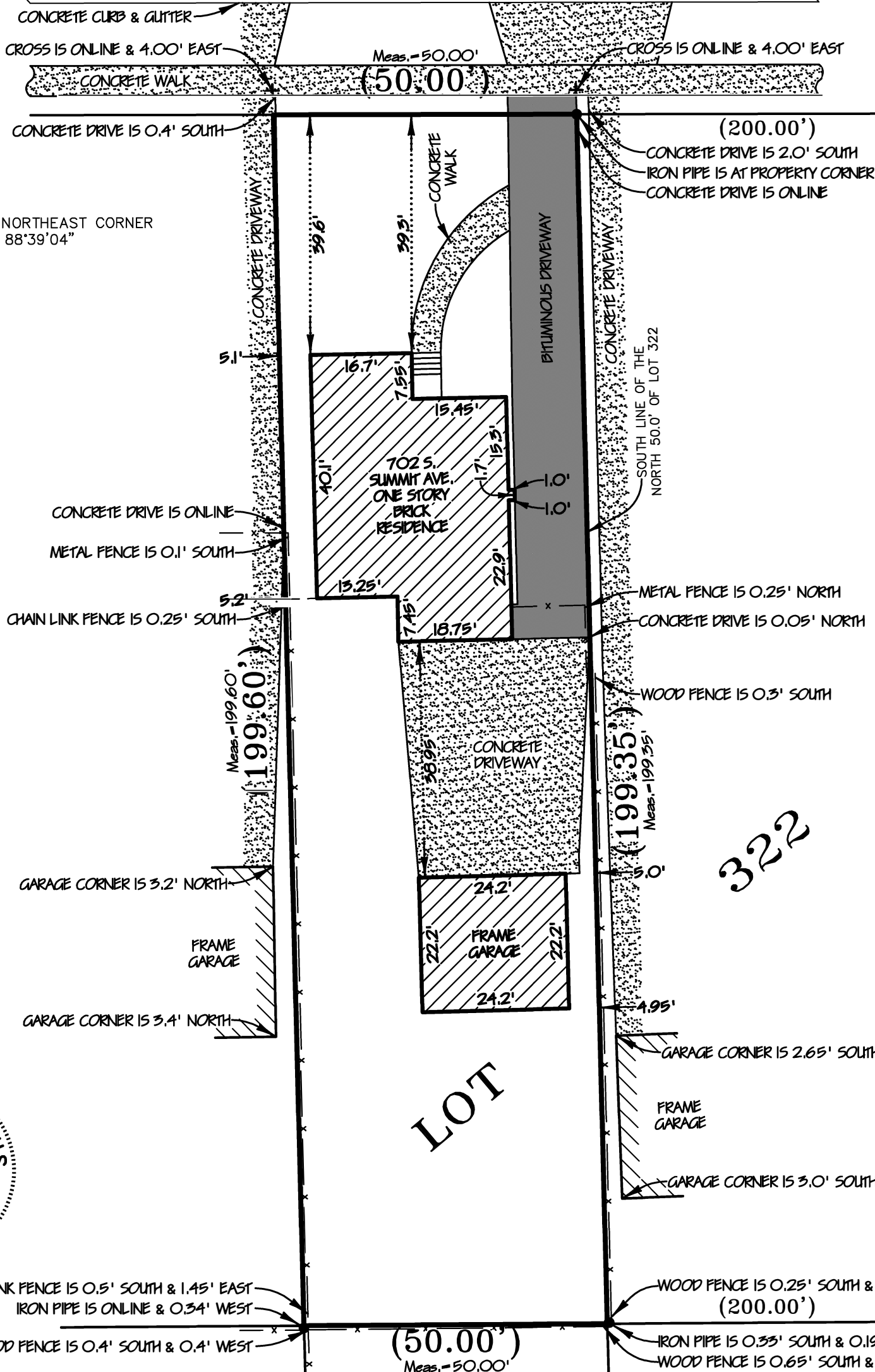
SURVEY LEGEND
● Monumentation Found
○ Monumentation Set (IRLS 35-2551)
(50') Record Dimension
—X— Fence Line

PLAT OF SURVEY EXHIBIT A

THE NORTH 50 FEET OF LOT 322 IN ARDMORE, A SUBDIVISION IN SECTIONS 9 AND 10, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 10, 1910 AS DOCUMENT 100832, IN DUPAGE COUNTY, ILLINOIS.
AREA OF SITE = 9,971 SQ.FT.

SUMMIT AVENUE

BITUMINOUS ROADWAY



ANGLE ON THE NORTHEAST CORNER OF THE SITE IS 88°39'04"



NOTES

- All distances shown hereon are in feet and decimal parts thereof corrected to 68" f. Distances shown along curved lines are Arc Measurements unless otherwise noted.
- Compare the Legal Description, Building Lines, and Easements as shown hereon with your Deed, Title Insurance Policy or Title Commitment.
- Consult local authorities for additional setbacks and restrictions not shown hereon.
- Compare all survey points and report any discrepancies immediately.
- Consult utility companies and municipalities prior to the start of any construction.
- Dimensions to and along buildings are exterior foundation measurements.
- Do Not Assume distances from scaled measurements made hereon.

STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT I, ALLEN D. CARRADUS, A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF ILLINOIS, HAVE SURVEYED THE PROPERTY AS DESCRIBED HEREON AND THAT THE ANNEXED PLAT IS A CORRECT AND TRUE REPRESENTATION THEREOF, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SIGNED AND SEALED AT CAROL STREAM, ILLINOIS THIS 18th DAY OF September, A.D. 2023
BY Allen D. Carradus, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2551.
MY LICENSE EXPIRES NOVEMBER 30, 2024.

CARRADUS LAND SURVEY, INC.

Residential & Commercial Land Surveying Services
191 S. Gary Avenue, Suite 180, Carol Stream, Illinois, 60188
(630) 588-0416 (Fax) 653-7682 carradus_survey@yahoo.com

PREPARED FOR: **AMANDA BERNSTEIN**
DRAWN BY: **CMG** DATE OF FIELD WORK: **09/18/23** SCALE: **1" = 20'** FLD.BK. - PAGE: **48-00** PROJECT NO.: **39213**

**JAD Associates
Architects, Ltd.**
4927 N. Frank Parkway
NORRIDGE, ILLINOIS 60706
PHONE: (847) 951-5335
email: delphia235@yahoo.com



TITLE	TITLE SHEET
PROJECT	PROPOSED SECOND FLOOR ADDITION 702 S. SUMMIT AVE. VILLA PARK, ILLINOIS

SHEET

T-1


JOSEPH DELISI
ILLINOIS NUMBER: 01-05333
EXPIRATION: 11/30/2024
DESIGN FIRM LICENSE NUMBER: 184-008101-0001
EXPIRATION: 4/30/2025

DATE: 1 AUGUST 2023

GENERAL NOTES:

1. ALL CONTRACTORS ARE TO OBTAIN ALL PERMITS, BONDS, LICENCES, ETC. AS REQUIRED AND FOLLOW ALL LOCAL BUILDING CODES.
2. ALL STRUCTURAL REVISIONS ARE TO BE REVIEWED AND APPROVED BY THE ARCHITECT.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING ANY WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
5. THE CONTRACTOR IS ADVISED TO VERIFY THE AVAILIBLITY OF ALL MANUFACTURED PRODUCTS BEFORE PROCEEDING WITH CONSTRUCTION ESPECIALLY THOSE ITEMS AFFECTING ROUGH OPENING DIMENSIONS OR OTHER DIMENSIONS ON THE PLANS. ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. WHERE SPECIFIC PRODUCTS ARE CALLED FOR, GENERIC EQUIVLANTS WHICH MEET OR EXCEED APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE USED.
6. IN THE EVENT OF A CONFLICT BETWEEN APPLICABLE CODES, REGULATIONS, AND REFERENCE STANDARDS OF THESE PLANS AND SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
7. NO VARIATION REQUIRED BY A BUILDING OFFICIAL SHALL BE BINDING TO THE ARCHITECT.
8. SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.

DESIGN LOADS:

DEAD LOADS:	
ROOF WITH SHAKES/SHINGLES	: 15 PSF
ROOF WITH CLAY/CONCRETE TILES	: 25 PLF (SEE PLAN FOR MATERIAL USED)
FLOOR	: 10 PLF
WALL - 8'-0" EXTERIOR BEARING	: 80 PLF
LIVE LOADS:	
FLOOR	: 40 PSF
STAIRS	: 100 PSF
DECKS	: 60 PSF
GARAGE	: 50 PSF OR 2000 LBS FT. LD
ROOF	: 30 PSF
TOTAL LOAD/ROOF	: 45 PSF
TOTAL LOAD/FLOOR	: 50 PSF
MINIMUM DEFLECTION LIMITS:	
CLG./ROOF	: SPAN/40
FLOOR/BEAMS	: SPAN/360
OR RAFTERS WITH NO CLG.	

INSULATION:

ROOF:	
VAULTED AREAS	: R-42
FLAT CEILING	: R-42
EXTERIOR WALLS:	
2x4 STUDS	: R-21
2x6 STUDS	: R-21
FLOORS OVER UNHEATED SPACES	: R-25
BASEMENT WALLS	: R-21
SLAB-ON-GRADE	: R-15 RIGID INSULATION
DUCTS IN UNHEATED SPACES	: R-8
CANTILEVERED FLOORS/ FLOORS OVER GARAGES	: R-15
WINDOW GLASS	: U + .35 MAX.

FOUNDATIONS:

1. ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL BELOW FROST (MIN. 42" BELOW GRADE).
2. FOOTINGS SHALL NOT BEAR ON ANY ORGANIC LOAM OR FILL MATERIAL.
3. FOUNDATIONS AND FOOTING SIZES ARE BASED ON A MAXIMUM ALLOWABLE SOIL BEARING PRESSURE OF 3,000 PSF. VERIFY SOIL CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
4. FOOTINGS TO EXTEND TO A DEPTH AS NOTED ON THE PLANS.
5. DO NOT EXCAVATE BELOW FOOTINGS WITHOUT NOTIFYING THE ARCHITECT.

CONCRETE:

1. ALL FOUNDATION WALLS AND FOOTINGS SHALL OBTAIN A COMPRESSIVE STRENGTH OF 3,000 P.S.I. AFTER 28 DAYS.
2. ALL CONCRETE SLABS SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS.
3. CONCRETE FORMS, SHORING, AND POURING METHODS SHALL CONFORM TO CURRENT STANDARDS.
4. BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT WALLS UNTIL:
- a. CONCRETE OR MASONRY GROUT HAS REACHED ITS 28 DAY STRENGTH.
- b. STRUCTURAL FLOOR FRAMING (INCLUDING SUB-FLOOR) REQUIRED TO STABILIZE WALLS IS COMPLETE AND FULLY NAILED AND ANCHORED.
5. APPLY STANDARD DRY WALL PRODUCTS, INC. "THOROSEAL FOUNDATION COATING" OR EQUAL ON WALL EXTERIOR FACES OF WALLS BELOW GRADE AND "THOROGLAZE" OR EQUAL DAMPPROOFING ON ALL EXPOSED SURFACES OF CONCRETE WALLS ABOVE GRADE AND ALL SLABS NOT COVERED BY FINISH FLOOR MATERIALS.

REINFORCING STEEL:

1. ALL REINFORCING STEEL SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A615, GRADE 40.
2. ALL REINFORCING STEEL SHALL BE MANUFACTURED, DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 318R, ACI 318S, AND ACI 308.4G.
3. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. IN AS LONG A LENGTH AS IS PRACTICABLE, WELDED WIRE FABRIC SHALL BE LAPPED AT LEAST ONE GRID LENGTH PLUS 2'.
4. REINFORCEMENT SHALL BE BENT COLD AND SHALL NOT BE WELDED.
5. SPLICES:
- | | | |
|---|-------------|------------|
| REINFORCEMENT IN CONCRETE AND MASONRY SHALL HAVE LAP LENGTHS AS FOLLOWS UNLESS OTHERWISE SPECIFIED ON THE CONSTRUCTION DOCUMENTS: | | |
| BAR SIZE | IN CONCRETE | IN MASONRY |
| #3 | 1'-6" | 2'-0" |
| #4 | 2'-0" | 2'-6" |
| #5 | 2'-6" | 3'-0" |
- PLACEMENT:
- A. REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONCRETE METAL OR OTHER APPROVED CHAIRS, SPACERS, OR TIES, AND SECURED AGAINST DISPLACEMENT DURING CONCRETE OR GROUT PLACEMENT.
- B. EXCEPT WHERE OTHERWISE NOTED, REINFORCEMENT SHALL HAVE CONCRETE COVER AS FOLLOWS:
- | | |
|-------------------------------------|------|
| 1. CONCRETE DEPOSITED AGAINST EARTH | 3" |
| 2. FORMED CONCRETE AGAINST EARTH | 2" |
| 3. EXTERIOR FACES OF WALLS | 3/4" |
| 4. INTERIOR FACES OF WALLS | 3/4" |
| 5. TO TOP OF SLABS-ON -GRADE | 3/4" |

WOOD FRAMING:

1. ALL EXTERIOR WALL & INTERIOR BEARING WALL OPENINGS SHALL HAVE 4 x 12 OR 2-2x12's NO. 1 DF HEADERS UNLESS OTHERWISE NOTED.
2. 1" FOAM INSULATION SHEATHING WITH 1/2" FOAM ON 4'-0" x 8'-0" x 1/2" EXTERIOR GRADE FLYWOOD AT ALL CORNERS.
3. ALL SOLID SAWN LUMBER SHALL BE STRUCTURAL GRADE DOUGLAS FIR (FD + 1000 PSI MIN.) LARCH INSTALLED AS NOTED ON THE PLANS AND CONNECTED AS SPECIFIED IN THE NAILING SCHEDULE BELOW. LUMBER SHALL BE AS GRADED IN ACCORDANCE WITH CURRENT WESTERN WOOD PRODUCTS ASSOCIATION / WUPA STANDARD GRADING RULES). LUMBER GRADES FOR USES TO BE:
- | | |
|---------------------------------------|---------------------------------------|
| A. POSTS, BEAMS & HEADERS | #1 |
| B. FLOOR, CEILING JOISTS, AND RAFTERS | #2 & Btr |
| C. BILL PLATES AND BLOCKING | #4 |
| D. STUDS | DF (STUD) |
| E. TAG SUB-FLOOR DECKING | #3 |
| F. WALL & ROOF SHEATHING | 1/2" C-D, EXT. GLUE FLYWOOD (32/16) |
| G. SUB-FLOOR OVER JOISTS | 3/4" C-D, EXT. GLUE FLYWOOD (32/16) |
| H. UNDERLAYMENT | 1/2" UNDERLAYMENT GRADE PARTICLEBOARD |
- I. GLU - LAMINATED BEAMS
- A.I.T.C. INDUSTRIAL GRADE WITH DRY USE ADHESIVE
- * UET USE FOR EXTERIOR USES
- FD + 2,400 P.S.I. 24' - V4
- FV + 160P.S.I.
- E + 1800.000 P.S.I.
4. SOLID SAWN LUMBER AT VISUALLY EXPOSED LOCATIONS SHALL BE "CLEAR" GRADE FREE OF HEART.

NAILING SCHEDULE:

CONNECTION	NAILING
JOIST TO SILL OR BEAM	(3) 8d TOE NAILED
BRIDGINS TO JOIST	(2) 8d TOE NAILED EA. END
2" TAG DECKING/SUB-FLOOR TO BEAMS	(2) 16d TOE NAIL THRU TONGUE
RIM JOISTS TO JOIST	(3) 16d FACE NAILED
STUDS TO SOLE PLATE	(2) 16d FACE NAILED EA. END
SOLE PLATE TO JOISTS OR BLOCKING	(1) 16d AT 16" O.C. FACE NAILED
SOLE PLATE OR TOP PLATE TO STUDS	(2) 16d FACE NAILED
DOUBLE TOP PLATE	(1) 16d AT 16" O.C. FACE NAILED
DOUBLE STUDS	(1) 16d AT 24" O.C. FACE NAILED
CORNER STUDS	(1) 16d AT 24" O.C. FACE NAILED
TOP PLATES AT LAPS & INTERSECTIONS	(2) 16d FACE NAILED
HEADERS TO TOP PLATES	(1) 16d AT 16" O.C. FACE NAILED
CEILING JOISTS TO PLATES	(3) 8d TOE NAILED
JOISTS LAPS OVER PARTITIONS	(3) 16d FACE NAILED
CEILING JOISTS TO RAFTERS	(3) 16d FACE NAILED
RAFTERS TO TOP PLATES	(3) 8d TOE NAILED WITH "SIMPSON" H-25 CONNECTORS - VERIFY
PLYWOOD SUB-FLOOR TO JOISTS	(1) 8d COMMON AT 6" O.C. AT EDGES AND 16" O.C. IN FIELD WITH GLUE
PLYWOOD WALL & ROOF SHEATHING	(1) 8d COMMON AT 6" O.C. AT EDGES AND 12" O.C. IN FIELD

NOTES:

- a. ALL FRAME WALLS SHALL HAVE STUD FRAMING PLACED AT 16" O.C. EXCEPT WHERE OTHERWISE NOTED.
- B. TOP PLATES SHALL BE DOUBLED ON ALL WALLS EXCEPT WHERE OTHERWISE NOTED.
- C. CRIPPLES UNDER ALL HEADERS SHALL BE CONTINUOUS TO SOLE PLATE.
- D. DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO JOISTS EXCEPT WHERE OTHERWISE NOTED.
- E. BLOCK ALL STUD WALLS AS REQUIRED FOR SHEATHING.
- F. SOLID BLOCKING BETWEEN ALL JOISTS AND RAFTERS AT SUPPORTING WALLS AND BEAMS EXCEPT AT RIM JOISTS.
- G. DOUBLE RIM JOISTS AT ALL WALLS PARALLEL TO JOISTS.
- H. BEAMS, GIRDERS, AND JOISTS SUPPORTING BEARING WALLS OR CONCENTRATED LOADS SHALL NOT BE NOTCHED.
- I. ALL RAFTERS SHALL BE NOTCHED TO PROVIDE FULL BEARING AT SUPPORTS.
- J. ALL JOISTS SHALL HAVE A MINIMUM OF 2" BEARING AT SUPPORTS.
- K. LAP ALL JOISTS 6" MINIMUM AT ALL INTERIOR BEARING SUPPORTS.
- L. RUD SILLS AND LEDGER BOARDS AT CONCRETE WALLS SHALL HAVE ANCHOR BOLTS OF THE SIZE AND SPACING SHOWN ON THE DRAWINGS. EACH BOARD SHALL BE SECURED WITH AT LEAST TWO BOLTS AND EACH BOARD SHALL HAVE A BOLT WITHIN 12" OF EACH END. THESE FRAMING MEMBERS ARE TO BE PRESSURE TREATED.
- M. COVER WALL SURFACES BEHIND SIDING, SHINGLES, AND WHERE INDICATED ON THE DRAWINGS WITH DUPONT "TYVEK" BUILDING WRAP OR AN APPROVED EQUIVLANT PRODUCT.
- N. PROVIDE DOUBLE FRAMING AT ALL ROOF & FLOOR DIAPHRAM PENETRATIONS UNLESS OTHERWISE NOTED ON THE PLANS.

MISCELLANEOUS:

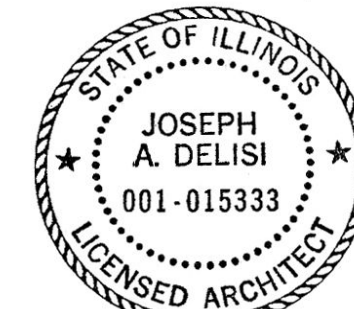
- A. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATIONS OR DEVIATIONS FROM THE PLANS WITHOUT WRITTEN CONFIRMATION FROM THE ARCHITECT.
- C. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY CONNECTED TOGETHER.
- D. ANY ADDITIONAL PLUMBING INFORMATION OTHER THAN THE PLUMBING DIAGRAMS SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR. (EXCEPT FIXTURE STYLES AND MANUFACTURER)
- E. HEATING/COOLING DUCT DIAGRAMS OR DRAWINGS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR.
- F. HEAT LOSS CALCULATIONS OR ENERGY USE CALCULATIONS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR.
- G. TRUSS DESIGN ENGINEERING AND PLANS SHALL BE PROVIDED BY THE TRUSS MANUFACTURER.
- H. EACH BEDROOM SHALL HAVE AT LEAST ONE WINDOW WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR. TYPICAL TOP OF WINDOW HEIGHT IS 6'-8" FROM FLOOR TO MATCH DOOR HEIGHT.
- I. ALL FIREPLACE OPENINGS SHALL BE PROVIDED WITH TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR FOR FIREPLACES, WOOD STOVES, LIQUID FUEL HEATING APPLIANCES.
- J. SMOKE DETECTORS SHALL BE CONNECTED TO ELECTRICAL PANEL. (HARD WIRED)
- K. TUB AND TUB/SHOWER ENCLOSURES ARE TO HAVE A WATER RESISTANT WALL BOARD (DURAROCK).
- L. ALL EXHAUST FANS, RANGE HOODS, AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR ENVELOPE.
- M. ALL WINDOWS, PATIO DOORS, AND DOORS WITH GLASS SHALL BE DOUBLE GLAZED INSULATING UNITS WITH WOOD OR THERMALLY BROKEN FRAMES OR SASHES.
- N. ALL GLASS WITHIN 12" OF A DOOR AND OR WITHIN 18" OF THE FLOOR OR WALKWAY SHALL HAVE TEMPERED GLAZING.
- O. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED WITH A WATER BOURNE PRESERVATIVE.
- P. ALL METAL CONNECTIONS LABELED "SIMPSON" SHALL BE AS MANUFACTURED BY THE SIMPSON STRONG-TIE CO. 1450 DOOLITTLE DR. SAN LEANDRO, CA 94577.
- Q. EXTERIOR DOORS ARE TO BE FOAM-CORE INSULATED DOORS UNLESS OTHERWISE NOTED.
- R. ALL EXTERIOR WALLS AND WALLS COMMON TO UNHEATED SPACES SHALL BE 2 x 6 STUDS AT 16" O.C. OR 24" O.C. WITH R-19 INSULATION UNLESS OTHERWISE NOTED ON THE PLANS.
- S. PROVIDE 1 HR FIRE WALL BETWEEN GARAGE AND LIVING AREAS AND UNDER ALL STAIRS WHERE STORAGE SPACE IS AVAILABLE.
- T. ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE 1 HR FIRE RATED ASSEMBLIES WITH 1 1/4" SOLID CORE WOOD DOORS AND CODE APPROVED WITH SELF CLOSING DEVICES.

LEGEND:

⌀	SINGLE POLE SWITCH	⊕ DS	LIGHT FIXTURE WITH DOOR SWITCH
⌀ 3	THREE WAY SWITCH	● SD	SMOKE DETECTOR WIRED TO ELEG. PANEL
⌀ 4	FOUR WAY SWITCH	⊕	EXHAUST FAN
⌀ D	SWITCH WITH DIMMER	⊕	EXTERIOR WEATHERPROOF FLOOD LIGHT
⌀ T	SWITCH WITH TIMER	▼	TELEPHONE JACK
⌀	110V DUPLEX RECEPTACLE	⊕ CTV	CABLE TELEVISION JACK
⌀ UP	110V RECEPTACLE WITH WEATHER-PROOF COVER	⊕ DC	DOOR CHIME
⌀ GFI	110V RECEPTACLE GROUND FAULT INTERRUPTOR CIRCUIT	—	CIRCUIT PANEL
⌀	FLOOR DUPLEX RECEPTACLE	FD	FLOOR DRAIN
⌀	SPLIT WIRED 110V RECEPTACLE	+	HOSE BIBB
⌀	110V QUAD RECEPTACLE	◄	SHOWER HEAD
⌀ 220	220V RECEPTACLE OR BOX	⊕ WH	WATER HEATER
⊕	LIGHT FIXTURE	FURN.	FORCED AIR HEATING UNIT
⊕ X	RECESSED CEILING DOWN LIGHT "X" WATTAGE (75 W UNLESS NOTED OTHERWISE)	⊕ HP	HEAT PUMP
⊕ PC	LIGHT FIXTURE WITH PULL CORD		INTERIOR BEARING WALL
			MASONRY VENEER

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DATE	JUNE 13, 2023
DRAWN	JD
CHECKED	JD
SCALE	AS NOTED
REVISED PER V.P. COMMENTS ISSUED FOR PERMIT REVIEW	
2	9-6-23
1	8-11-23
REV.	DATE

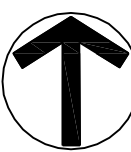
TITLE
PROJECT

GENERAL NOTES
PROPOSED SECOND FLOOR ADDITION
702 S. SUMMIT AVE.
VILLA PARK, ILLINOIS

COMM. NO.
23-115

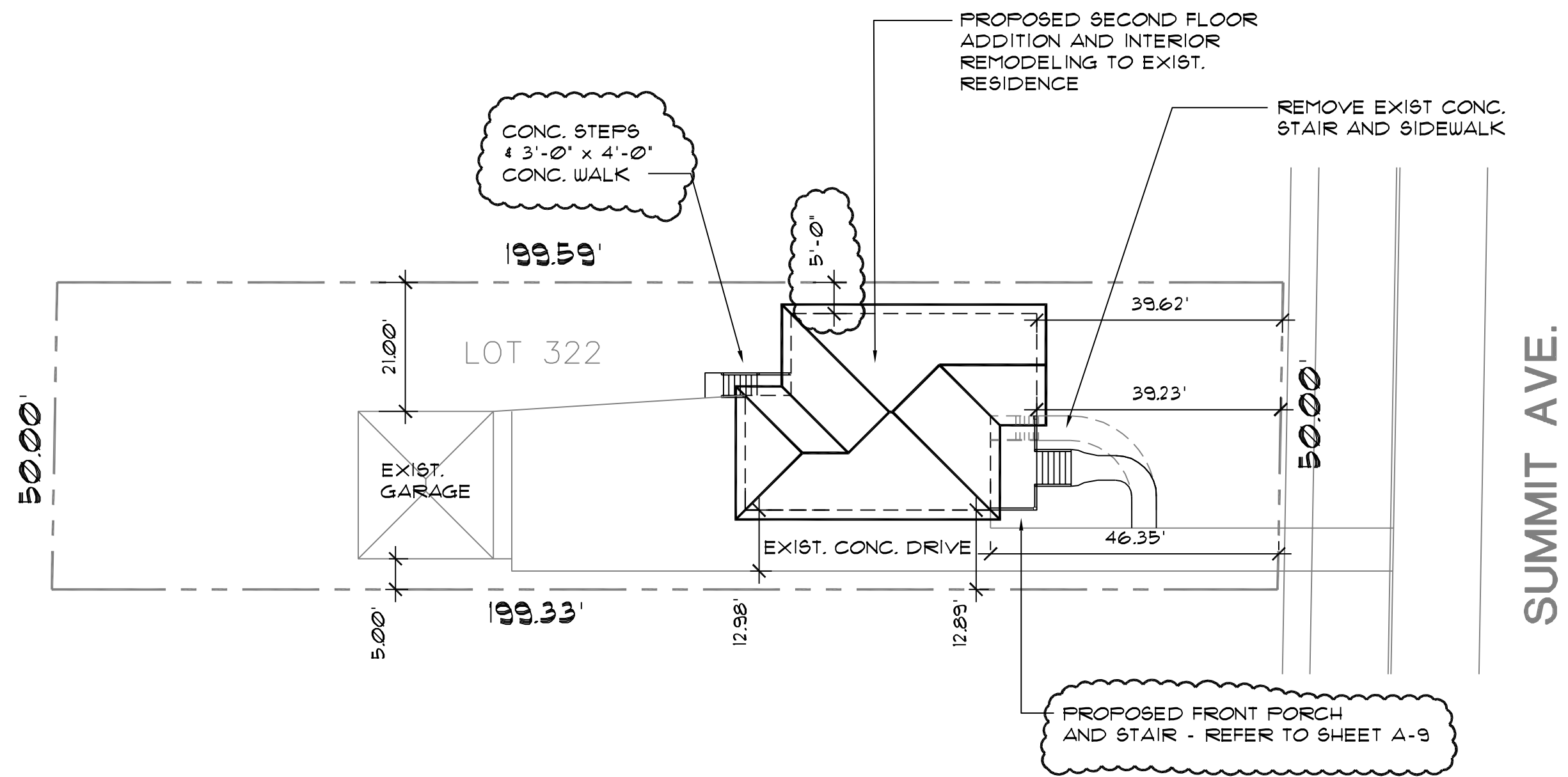
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SITE PLAN

SCALE : 1" = 20'-0"

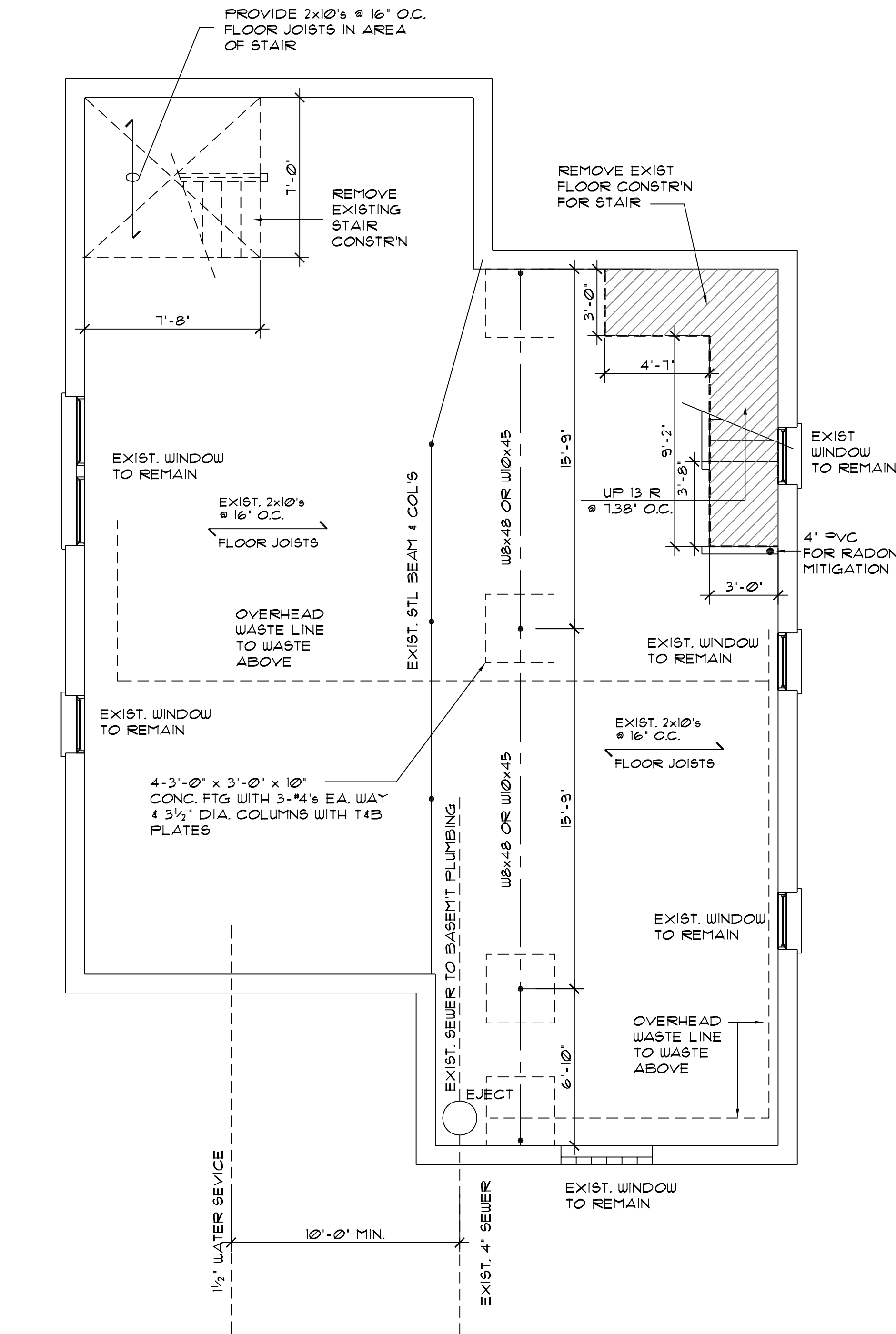


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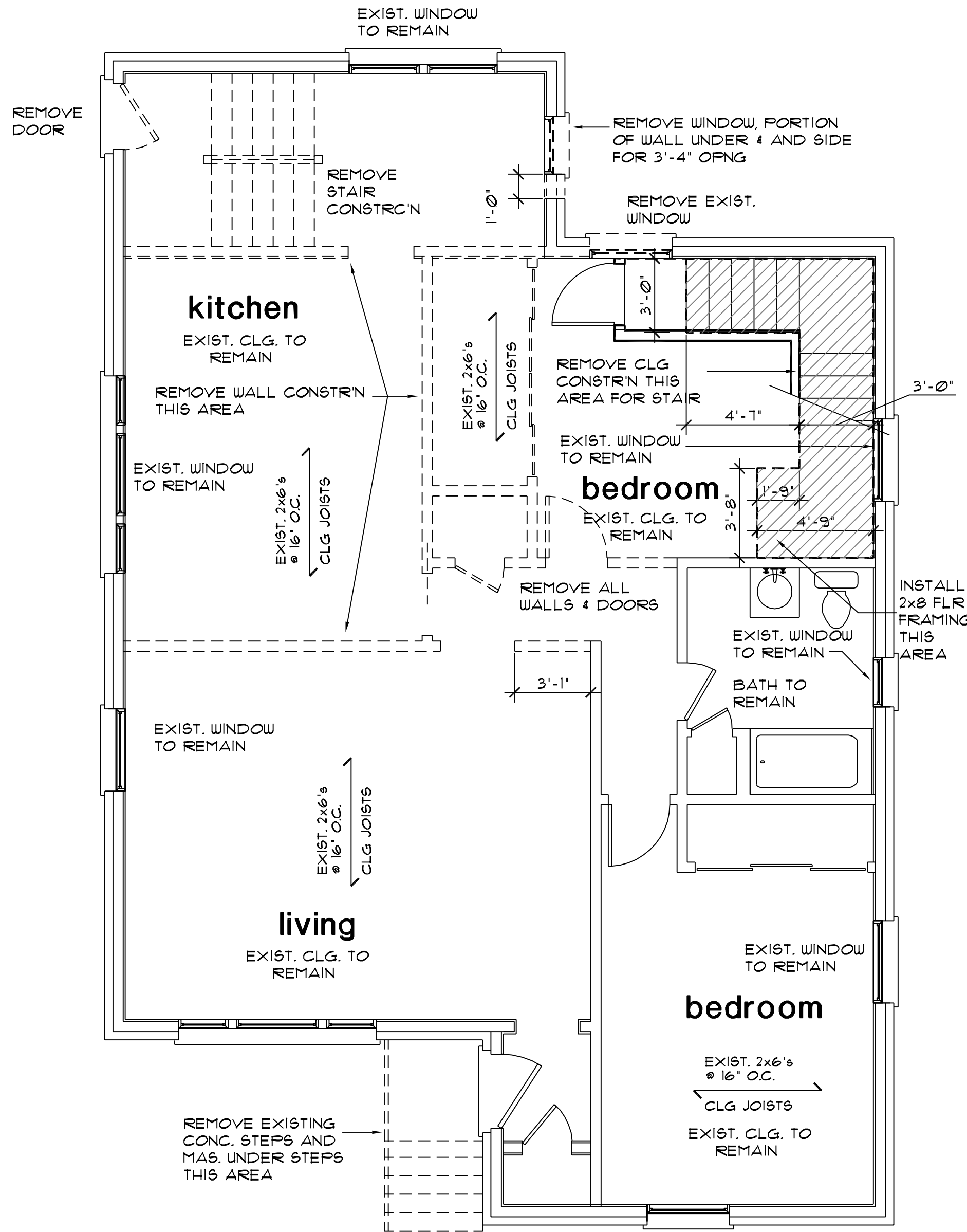


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SCALE	AS NOTED
REV.	DATE
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1	8-11-23
ISSUANCES & REVISIONS	

TITLE	SITE PLAN
PROJECT	PROPOSED SECOND FLOOR ADDITION 702 S. SUMMIT AVE. VILLA PARK, ILLINOIS
COMM. NO.	23-115
SHEET	A-1



BASEMENT PLAN - DEMOLITION
SCALE : 1/4" = 1'-0"



FIRST FLOOR PLAN - DEMOLITION
SCALE : 1/4" = 1'-0"

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					JUNE 13, 2023
					DRAWN
					JD
					CHECKED
					JD
					SCALE
					AS NOTED

EXIST. DEMOLITION PLANS
PROPOSED SECOND FLOOR ADDITION
702 S. SUMMIT AVE.
VILLA PARK, ILLINOIS
COMM. NO.
23-115
SHEET
A-2

LIGHT AND VENTILATION SCHEDULE - BASEMENT & FIRST FLOOR									
		ORDINANCE REQUIREMENTS				ACTUAL			
		NATURAL LIGHT/VENT	MECHANICAL VENTILATION			NATURAL LIGHT/VENT	MECHANICAL VENTILATION		
ROOM NAME	FLOOR AREA SQ. FT.	GLASS AREA SQ. FT.	VENT AREA SQ. FT.	AIR SUPPLY CFM	AIR EXH SQ. FT.	GLASS AREA SQ. FT.	VENT AREA SQ. FT.	AIR SUPPLY CFM	AIR EXH SQ. FT.
KITCHEN/EATING	45.0	36.0	18.0			53.0	23.5		
LIVING (EXIST.)	288	10.0	5.0			37.8	17.1		
BEDROOM (EXIST.)	147	10.0	5.0			25.2	13.8		
BATH	70				20 cfm				100 cfm

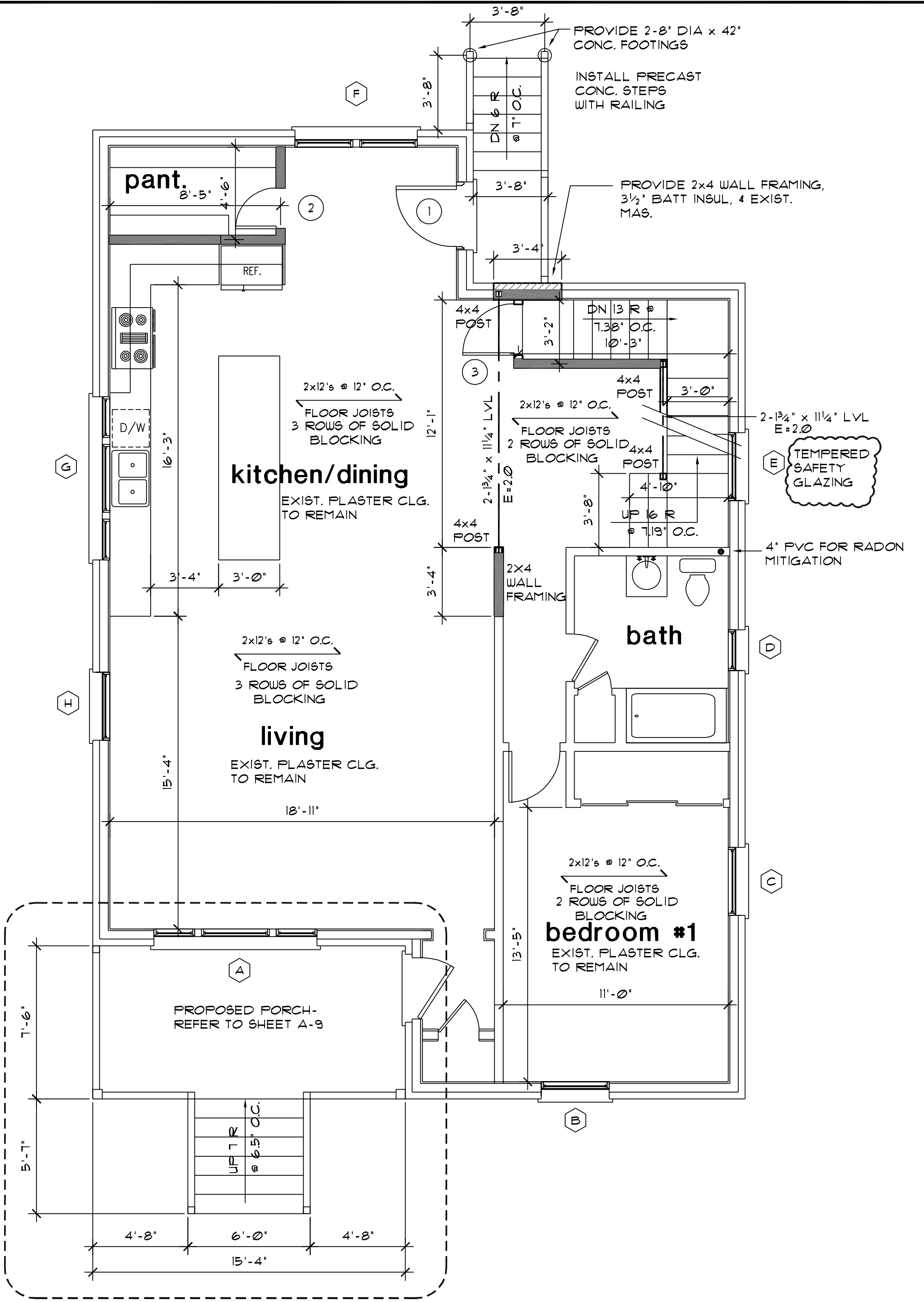
DOOR SCHEDULE - FIRST FLOOR									
DOOR						FRAME		REMARKS	
NO.	WIDTH	HT.	THK.	DESCRIPTION	MT'L	FINISH	MT'L	FINISH	HARDWARE GROUP
1	3'-0"	6'-8"		S.C.					EXT. DOOR MAX. U VALUE = .35
2	2'-0"	6'-8"	1 3/8"	S.C.	WOOD	STAIN	WOOD	STAIN	SIX PANEL
3	2'-6"	6'-8"	1 3/8"	S.C.	WOOD	STAIN	WOOD	STAIN	SIX PANEL

WINDOW SCHEDULE - FIRST FLOOR									
NO.	WINDOW SIZE (W X H)	TYPE	MT'L	FINISH INTERIOR	FINISH EXTERIOR	MANUF.	REMARKS		
A	8'-0" x 4'-6"	DBL HUNG		FIBERGL	FIBERGL		MIN. U VALUE = .30 L+.25.2 SF. V+.7.4 SF.		
B	3'-4" x 5'-0"	DBL HUNG		FIBERGL	FIBERGL		MIN. U VALUE = .30 L+.12.6 SF. V+.6.9 SF.		
C	3'-4" x 5'-0"	DBL HUNG		FIBERGL	FIBERGL		MIN. U VALUE = .30 L+.12.6 SF. V+.6.9 SF.		
D	2'-0" x 4'-0"	DBL HUNG		FIBERGL	FIBERGL		MIN. U VALUE = .30 L+.6.8 SF. V+.4.0 SF.		
E	3'-4" x 5'-0"	DBL HUNG		FIBERGL	FIBERGL		MIN. U VALUE = .30 L+.12.6 SF. V+.6.9 SF.		
F	2'-2"-11"x5'-0"	DBL HUNG		FIBERGL	FIBERGL		MIN. U VALUE = .30 L+.21.0 SF. V+.11.6 SF.		
G	8'-0" x 3'-6"	DBL HUNG		FIBERGL	FIBERGL		MIN. U VALUE = .30 L+.19.4 SF. V+.5.0 SF.		
H	3'-4" x 5'-0"	DBL HUNG		FIBERGL	FIBERGL		MIN. U VALUE = .30 L+.12.6 SF. V+.6.9 SF.		

WINDOW 'E' TO HAVE TEMPERED SAFETY GLAZING

'U' VALUES ARE THE OPPOSITE OF 'R' VALUES. AS SUCH, AS 'U' VALUES GET CLOSER TO ZERO (ZERO BEING THE MAXIMUM) THESE ARE MINIMUM VALUES. AS SHOWN HERE, .30 U VALUE IS A MINIMUM VALUE WHICH CAN NOT HAVE A HIGHER VALUE THAN THIS.

FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"



NOTE: NO WATER PIPING SHALL BE INSTALLED IN ANY EXTERIOR WALL, GARAGE WALL, ATTIC, OR OTHER UNCONDITIONED AREA OR CHASE UNLESS INSTALLED IN A SEPARATE ISOLATED SECONDARY WALL OR CHASE. INSULATION ALONE SHALL NOT BE USED FOR ISOLATION OF WATER PIPING

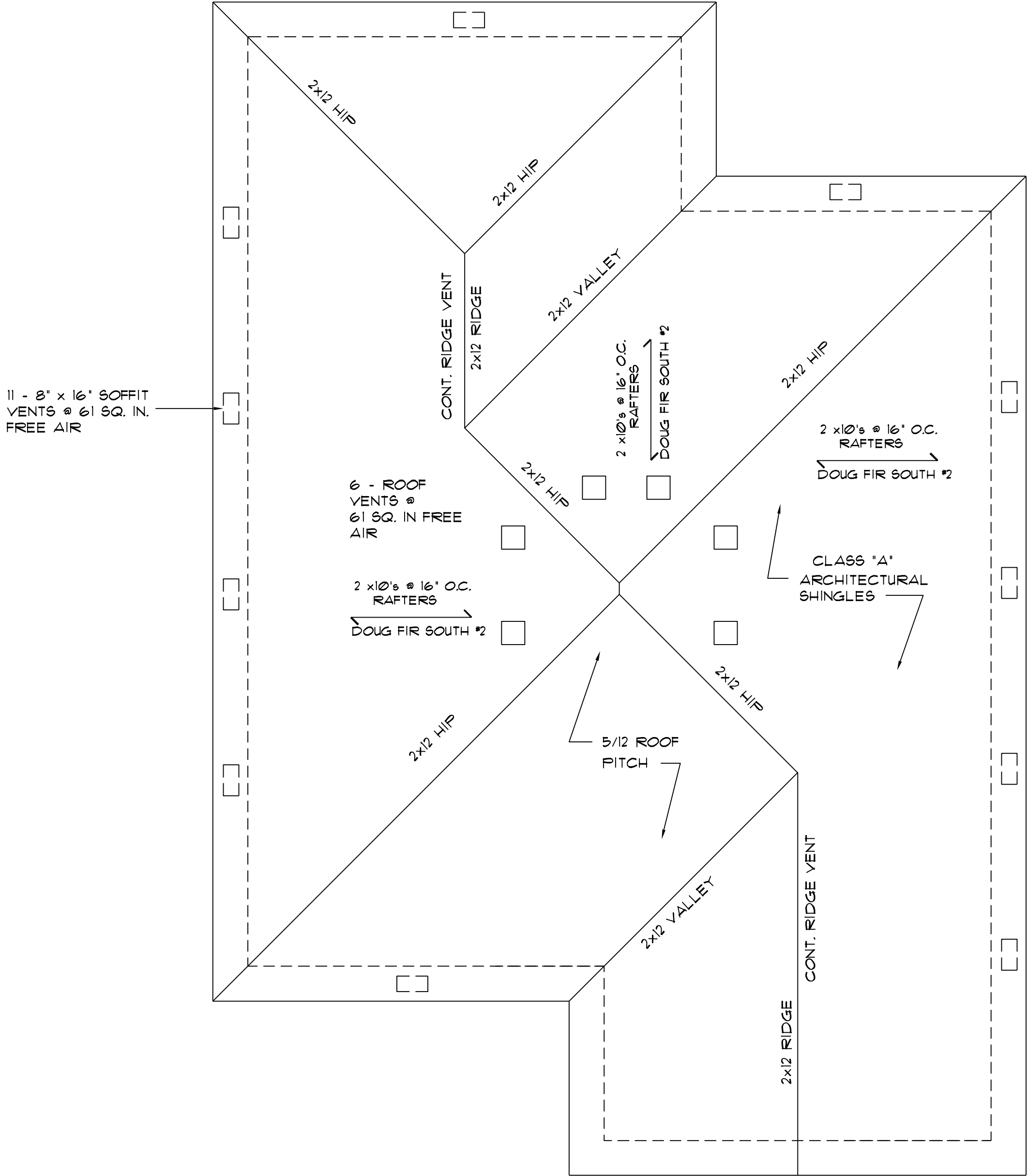
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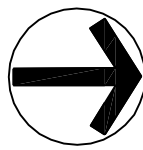


DATE	LINE	13	2023
DRAWN	JD	CHECKED	JD
SCALE	AS NOTED	REVISED PER V.P. COMMENTS	ISSUED FOR PERMIT REVIEW
REV.	1	DATE	ISSUANCES & REVISIONS
2	8-6-23		
1	8-11-23		

TITLE	FIRST FLOOR PLAN
PROJECT	PROPOSED SECOND FLOOR ADDITION 702 S. SUMMIT AVE. VILLA PARK, ILLINOIS
COMM. NO.	23-115
SHEET	A-3

VENTILATION SCHEDULE - ATTIC									
		ORDINANCE REQUIREMENTS				ACTUAL			
		NATURAL LIGHT/VENT		MECHANICAL VENTILATION		NATURAL LIGHT/VENT		MECHANICAL VENTILATION	
ROOM NAME	FLOOR AREA SQ. FT.	GLASS AREA SQ. FT.	VENT AREA SQ. FT.	AIR SUPPLY CFM	AIR EXH SQ. FT.	GLASS AREA SQ. FT.	VENT AREA SQ. FT.	AIR SUPPLY CFM	AIR EXH SQ. FT.
ATTIC	1300		8.1				9.2		



 **ROOF PLAN**
SCALE : 1/4" = 1'-0"

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DATE	JUNE 13, 2023
DRAWN	JD
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SCALE	AS NOTED

REV.	DATE	ISSUANCES & REVISIONS
2	9-6-23	REVISED PER VP COMMENTS
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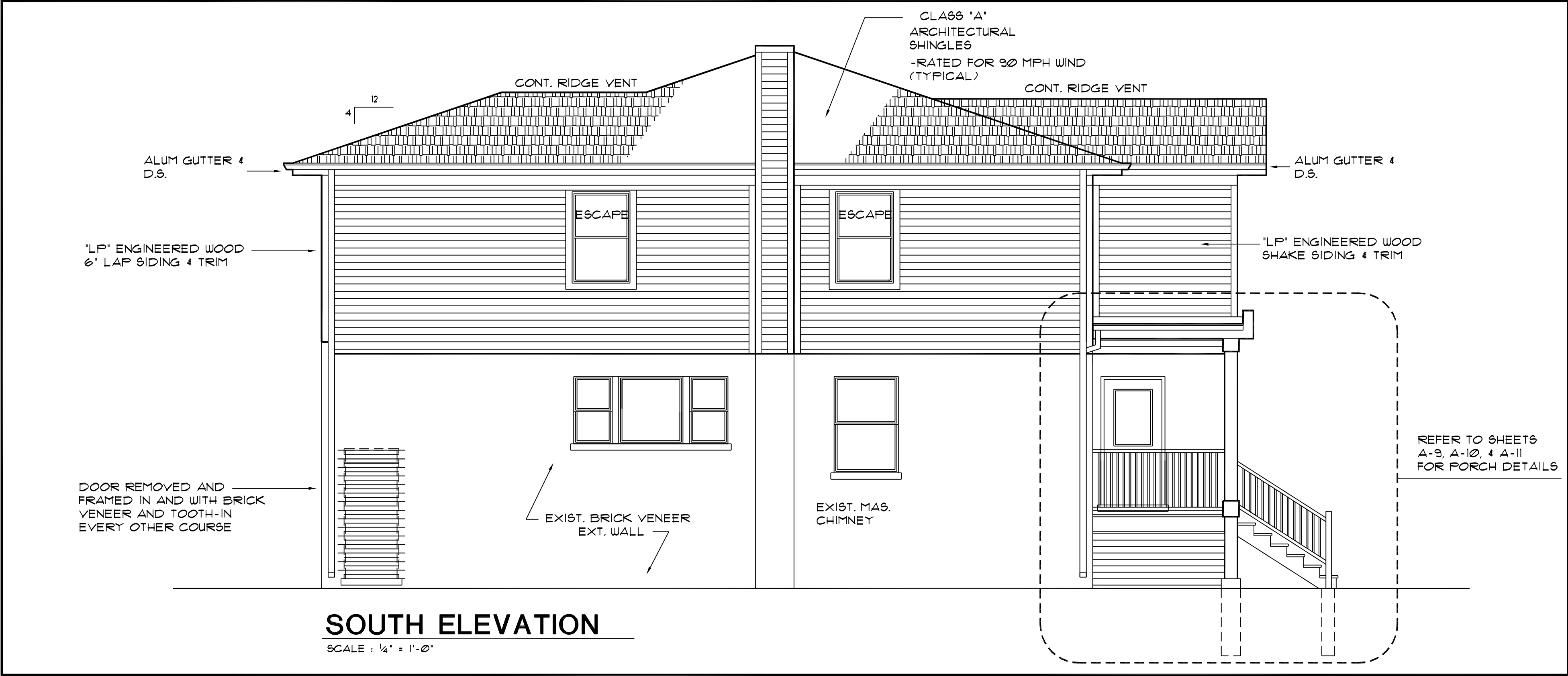
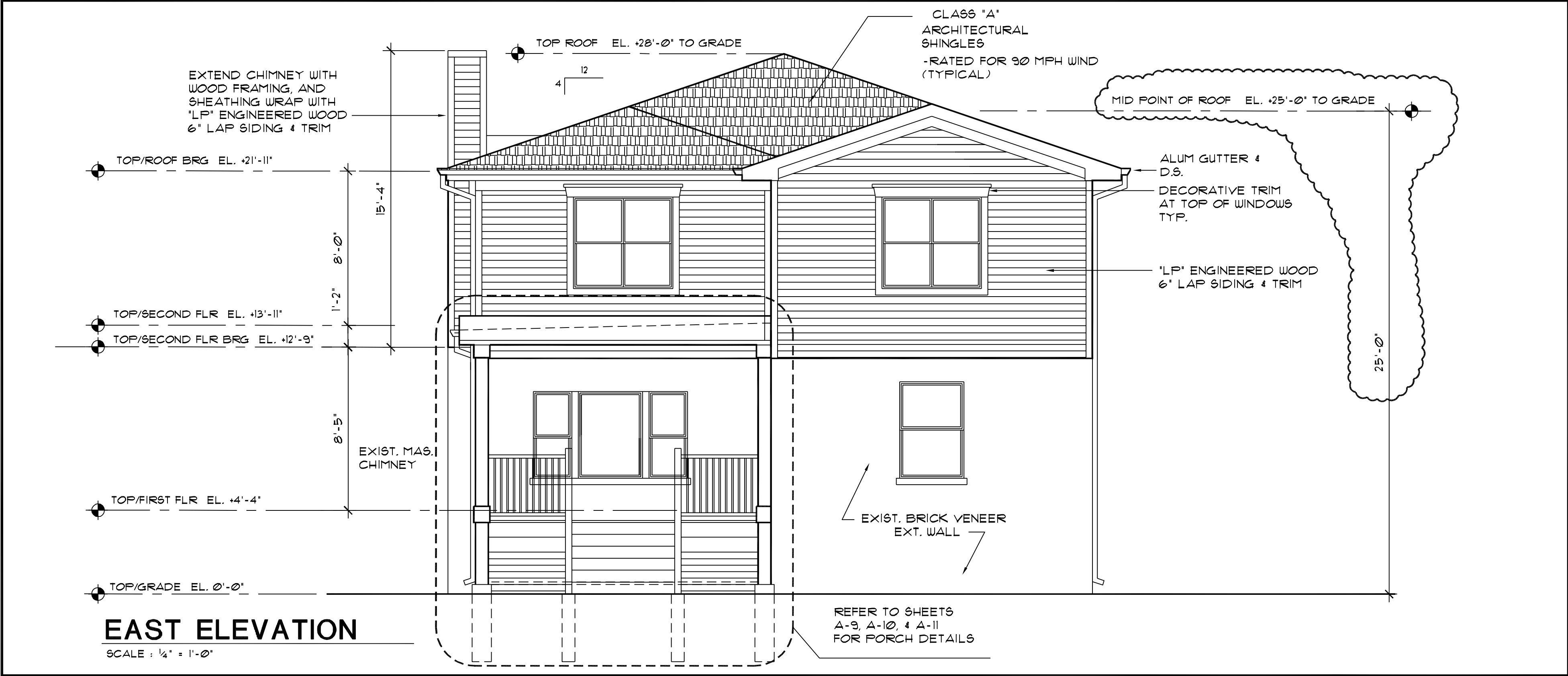
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PROJECT

PROPOSED SECOND FLOOR ADDITION
702 S. SUMMIT AVE.
VILLA PARK, ILLINOIS

COMM. NO.
23-115

SHEET
A-5



DATE

9-13-2023

DRAWN

JD

CHECKED

JD

SCALE

AS NOTED

REV.

DATE

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2

9-6-23

REVISED PER VP COMMENTS

1

8-11-23

ISSUED FOR PERMIT REVIEW

TITLE

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PROJECT

PROPOSED SECOND FLOOR ADDITION
702 S. SUMMIT AVE.
VILLA PARK, ILLINOIS

COMM. NO.

23-115

SHEET

A-6

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STATE OF ILLINOIS

JOSEPH
A. DELISI
001-015333

LICENSED ARCHITECT

Page 63 of 71

245* ASPHALT SHINGLES
15* FELT
5/8" EXT. PLYWOOD SHEATHING
PROVIDE ICE SHIELD @ VALLEYS
4 UP 3'-0" AROUND ENTIRE
ROOF PERIMETER
ROOF VENTS
FIBERGLASS BAFFLE AT EACH
RAFTER SPACE
PROVIDE HURRICANE TIES AT EACH RAFTER

10" BATT INSUL. FACED (R-30)
WITH 6" BATT INSUL. UNFACED
(R-19) OR SPRAY FOAM INSUL.

ALUM. GUTTER 4 D.S.
1 x 8 WOOD FASCIA
3/8" EXT. PLYWOOD
SOFFIT
SOFFIT VENTS
WRAP FASCIA AND
SOFFIT WITH ALUM.

1/2" ZIP EXT. SHEATHING (R-3)
2 x 6's @ 16" O.C.
6" BATT INSUL. 4 VAPOR BARRIER (R - 19)
ENGINEERED WOOD LAP SIDING

1/2" ZIP EXT. SHEATHING (R-3)
2 x 6's @ 16" O.C.
6" BATT INSUL. 4 VAPOR BARRIER (R - 19)
ENGINEERED WOOD LAP SIDING

EXIST. 2x6 CLG JOISTS
- SECURED TO 2x12 FLOOR
JOISTS

- EXIST. PLASTER ON WALLS
& CLG

TYP. WALL SECTION

SCALE : $\frac{3}{4}" = 1'-0"$



SCALE : $\frac{1}{2}" = 1'-0"$

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**TITLE TYPICAL WALL SECTION
SECTION AT STAIR**

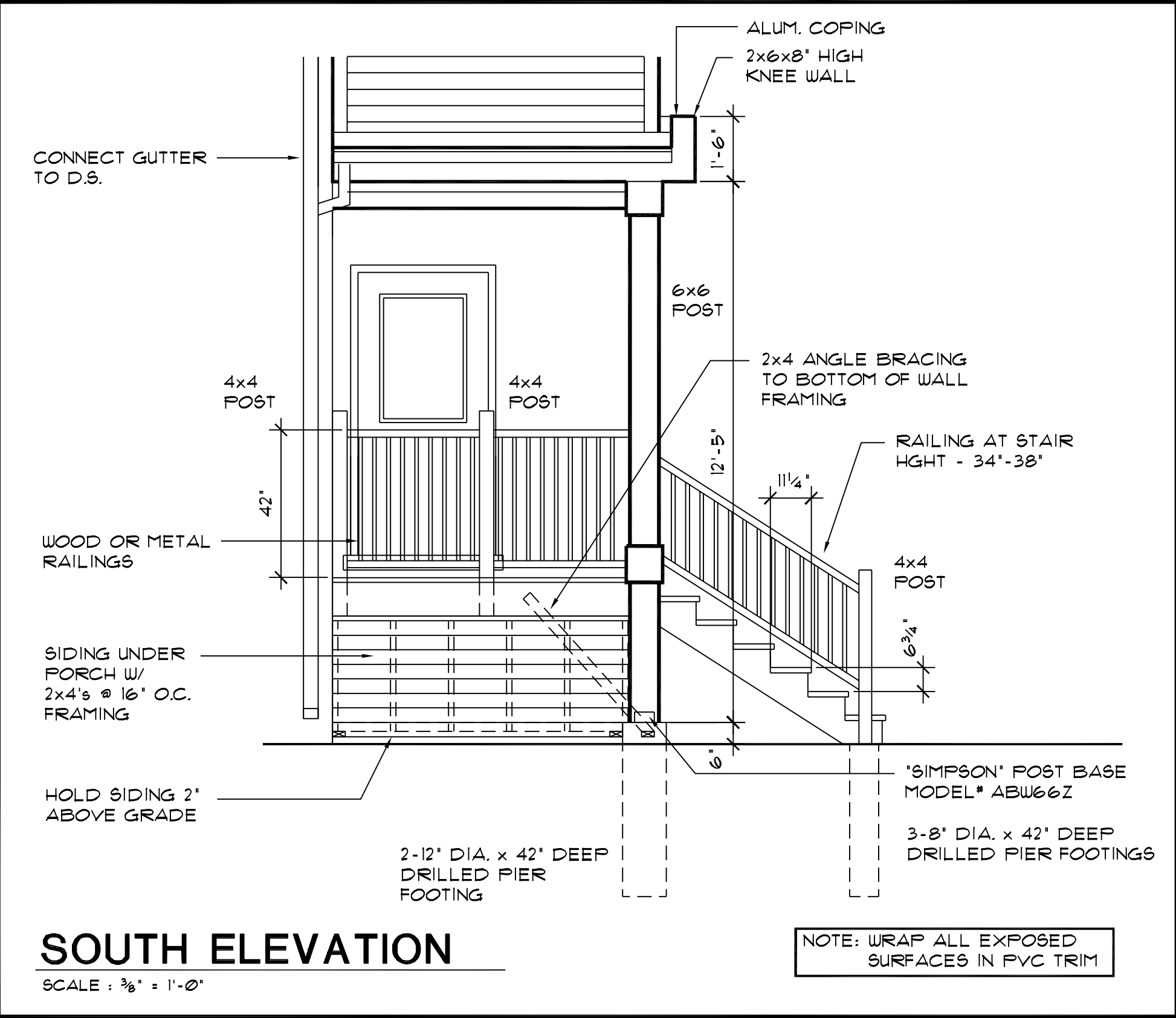
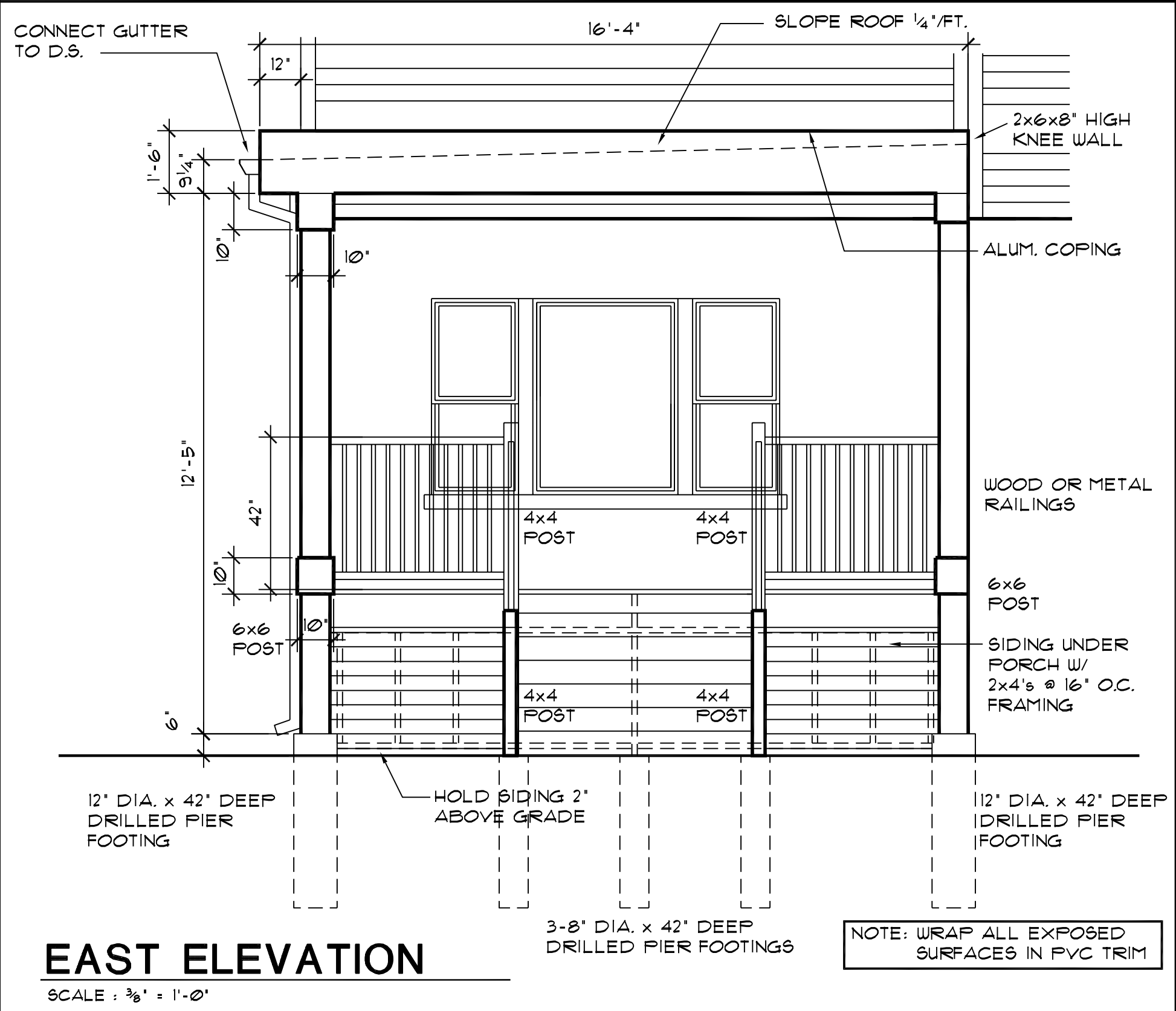
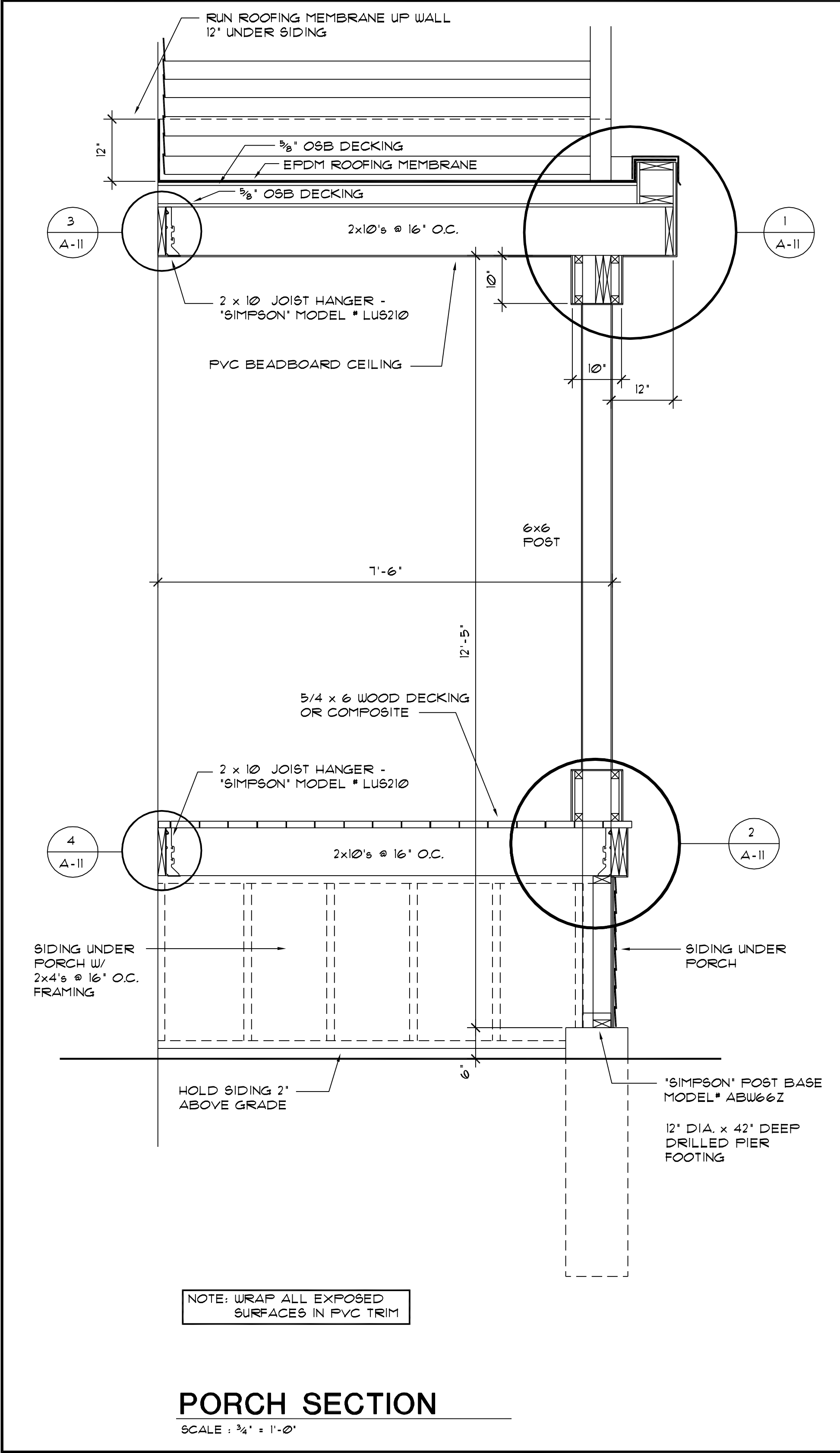
PROJECT

PROPOSED SECOND FLOOR ADDITION
702 S. SUMMIT AVE.
VILLA PARK, ILLINOIS

COMM. NO.
23-175

SHEET

A-8



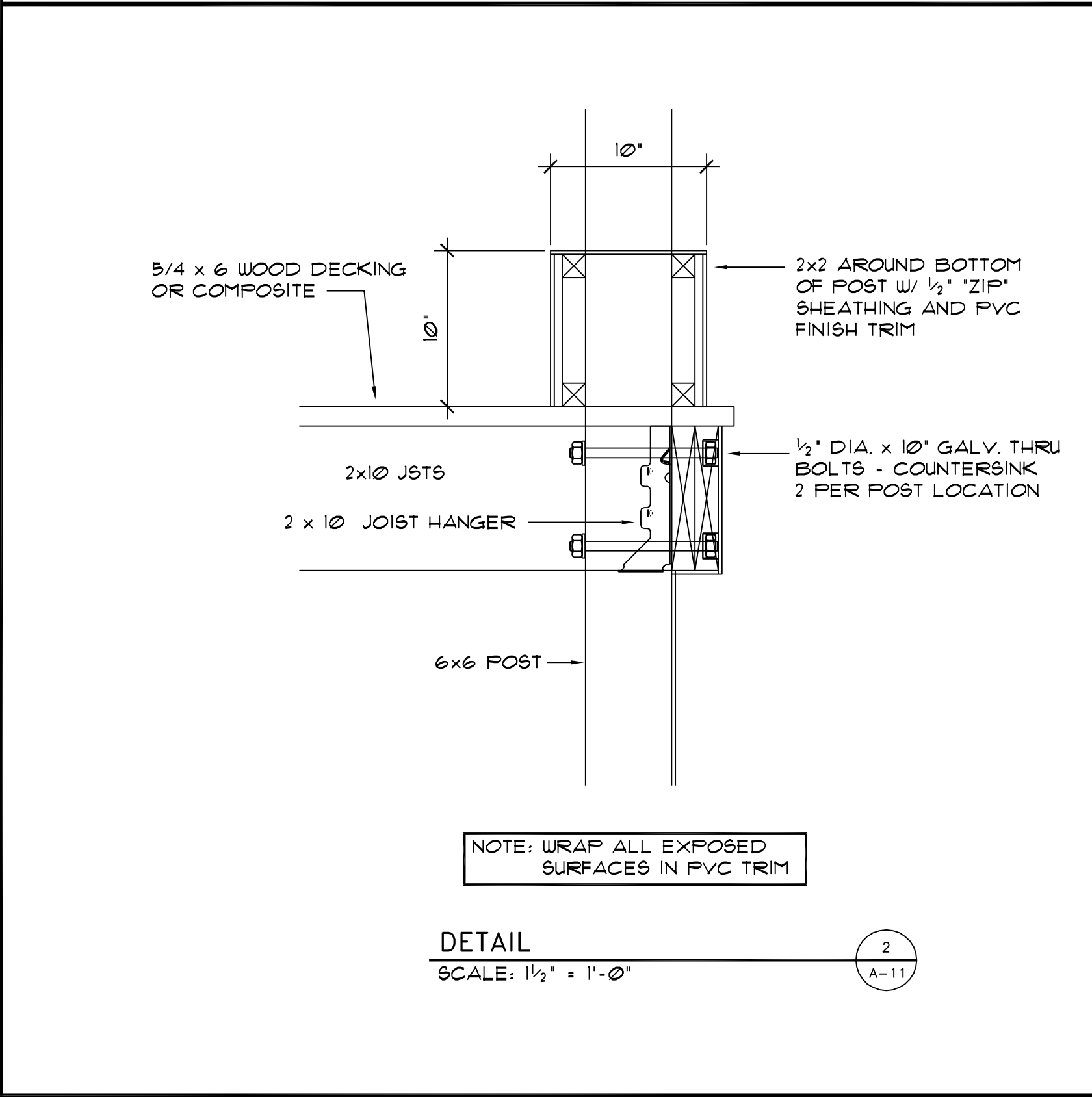
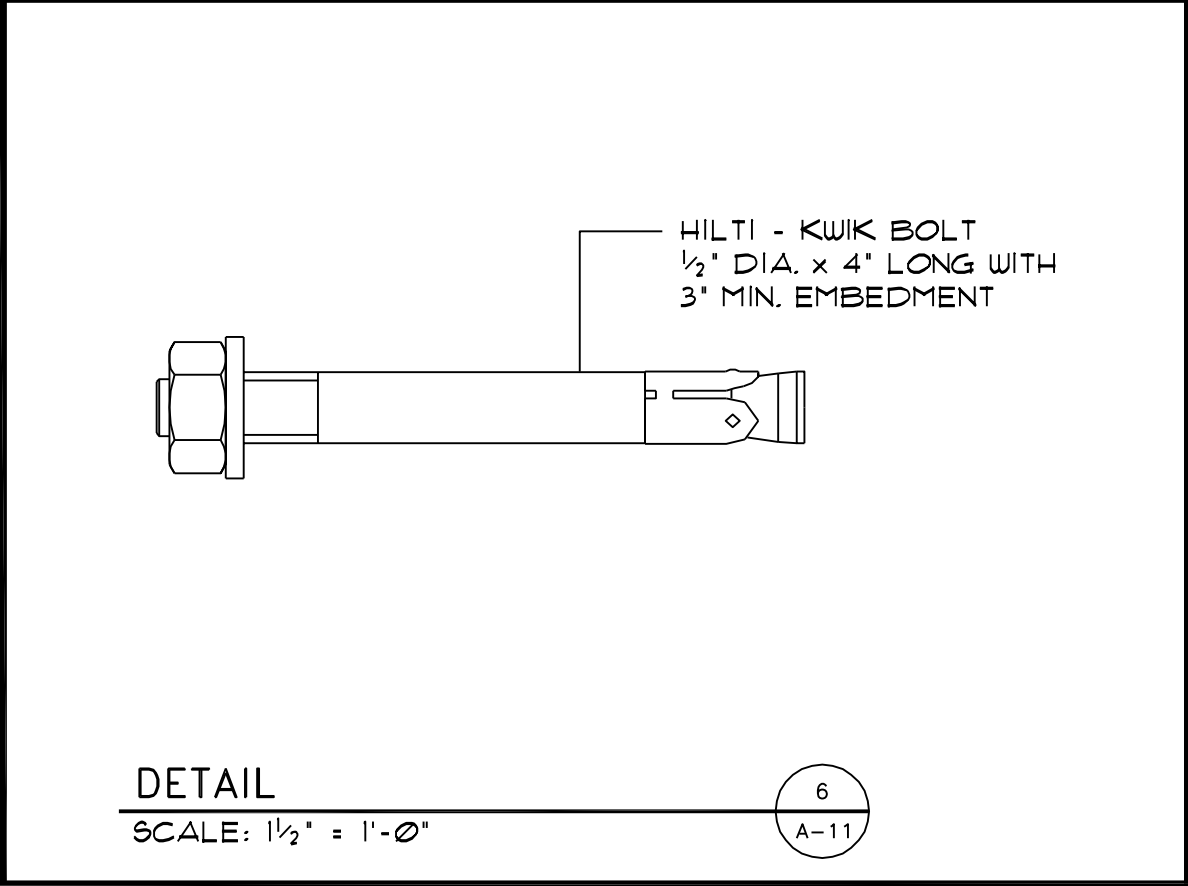
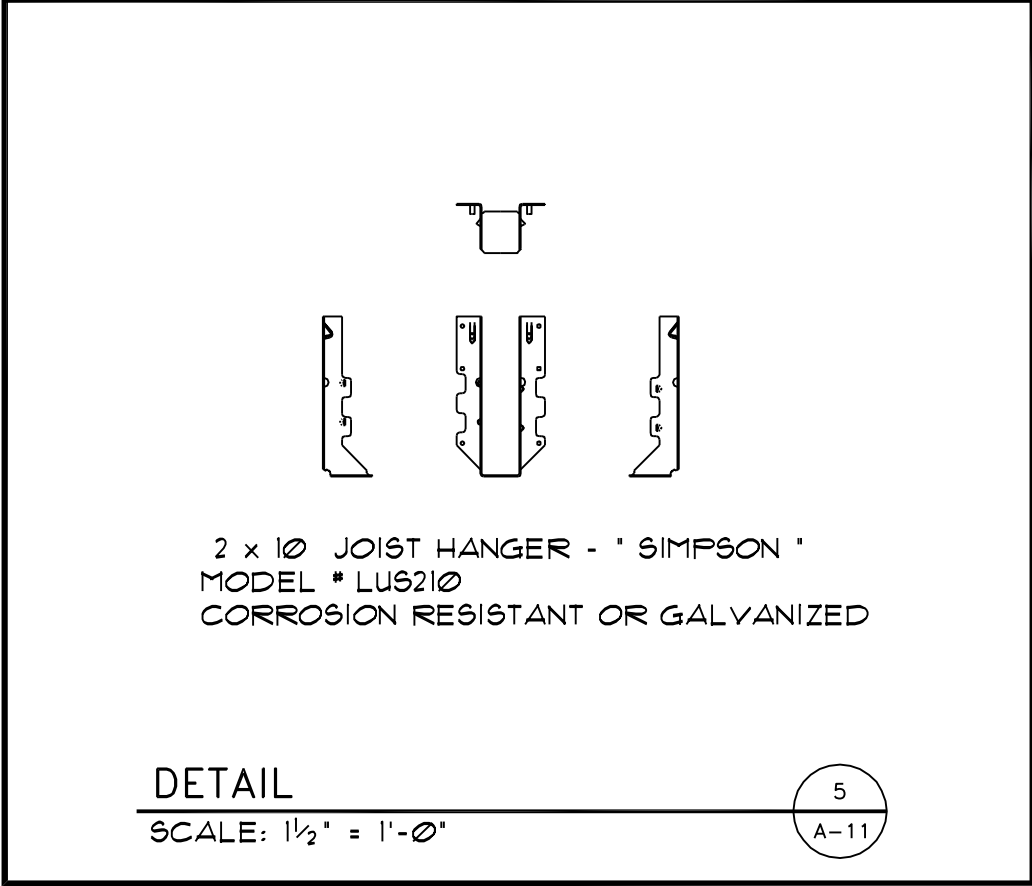
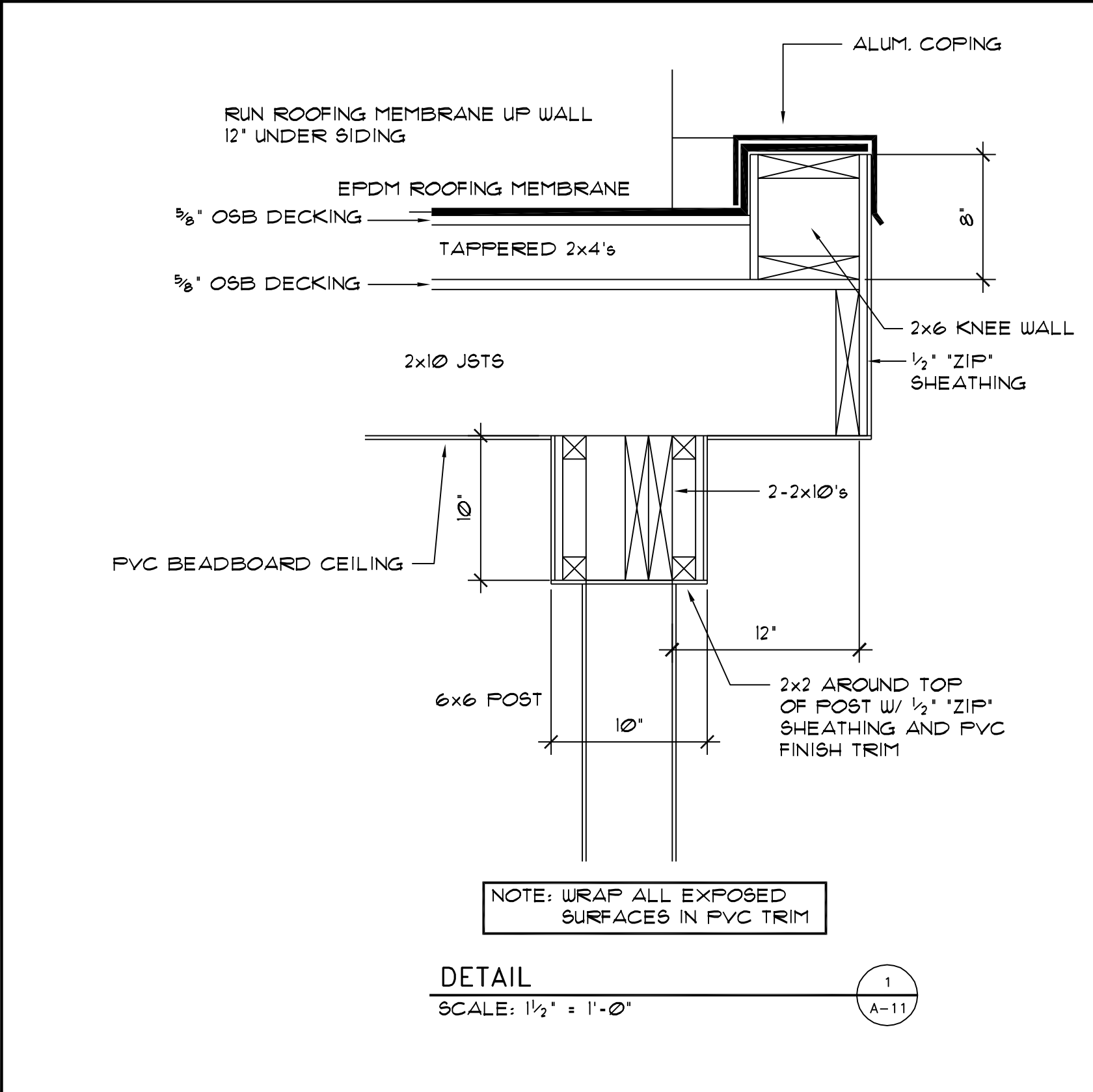
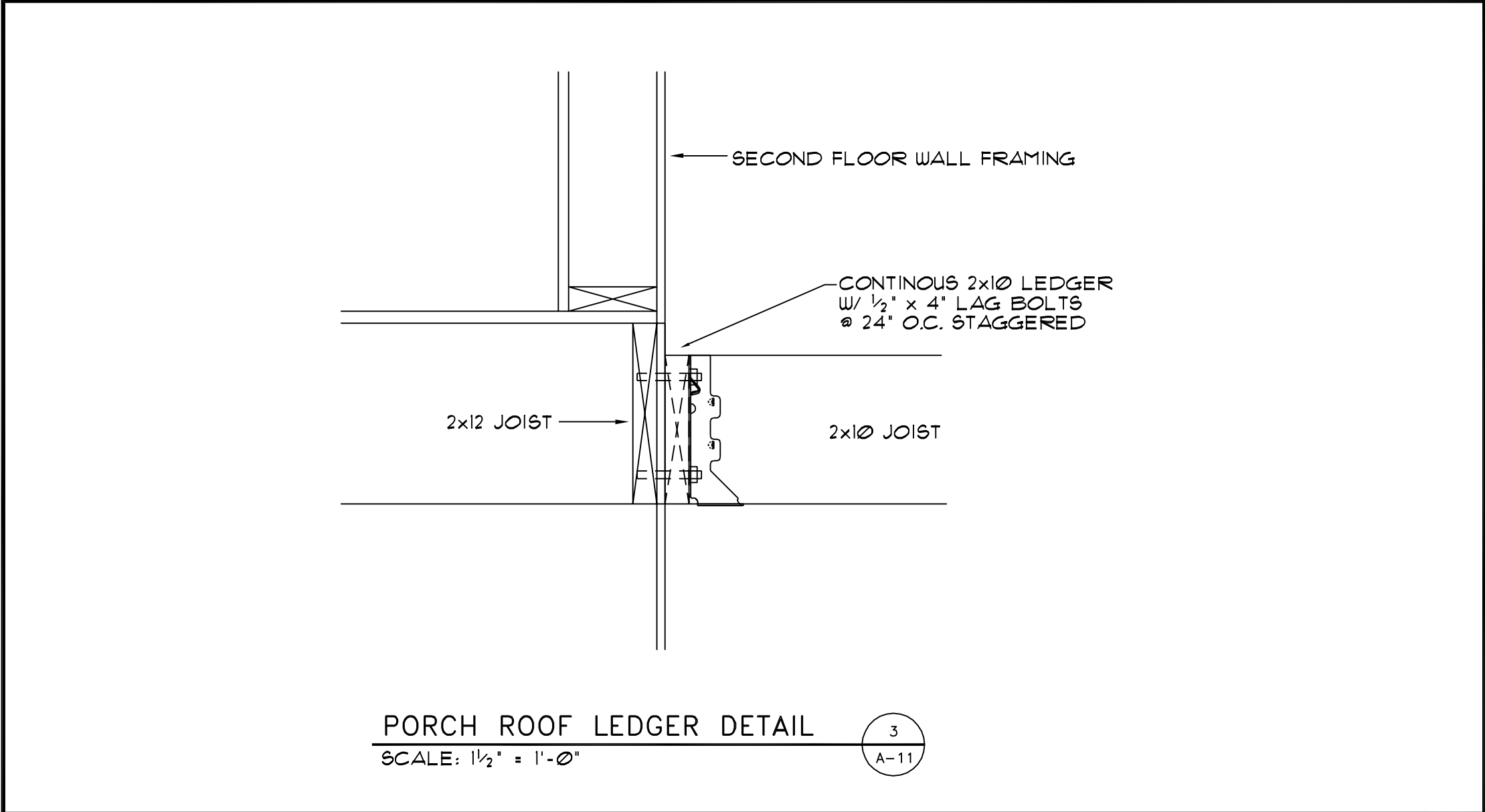
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STATE OF ILLINOIS
JOSEPH A. DELISI
001-015333
LICENSED ARCHITECT

DATE	BY	DATE	BY	DATE	BY
JUNE 13, 2023	JD				
	JD				
	JD				
	JD				

REV.	DATE	ISSUANCES & REVISIONS
2	9-6-23	REVISED PER VP COMMENTS
1	8-11-23	ISSUED FOR PERMIT REVIEW

TITLE	PROJECT	COMM. NO.	SHEET
FRONT PORCH ELEVATIONS SECTION	PROPOSED SECOND FLOOR ADDITION 702 S. SUMMIT AVE. VILLA PARK, ILLINOIS	23-115	A-10



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DATE	SINE 13, 2023	DRAWN	JD	CHECKED	JD	SCALE	AS NOTED
REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
1	8-1-23	1	8-1-23	1	8-1-23	1	8-1-23
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100	8-1-23	100	8-1-23	100	8-1-23	100	8-1-23

TITLE FRONT PORCH DETAILS

PROJECT PROPOSED SECOND FLOOR ADDITION
702 S. SUMMIT AVE.
VILLA PARK, ILLINOIS

COMM. NO.
23-115

SHEET
A-11



MEMORANDUM

CHICAGO

188 W Randolph Street Suite 200
Chicago, IL 60601
312-372-1008

LOS ANGELES

360 E 2nd Street Suite 800
Los Angeles, CA 90012
213-259-1008

SEATTLE

999 3rd Ave Suite 700
Seattle, WA 98104
206-828-1008

Date: October 20, 2023

SENT VIA EMAIL

To: Marc McLaughlin, AICP, Director of Community Development
Villa Park, Illinois

From: Josh Koonce, AICP, Senior Planner
Houseal Lavigne Associates

Re: **Preliminary Subarea Boundaries**
Villa Park Comprehensive Plan

This memo outlines the boundaries for six subareas in Villa Park, which have been collaboratively defined by Houseal Lavigne and the Villa Park Department of Community Development. These subareas are:

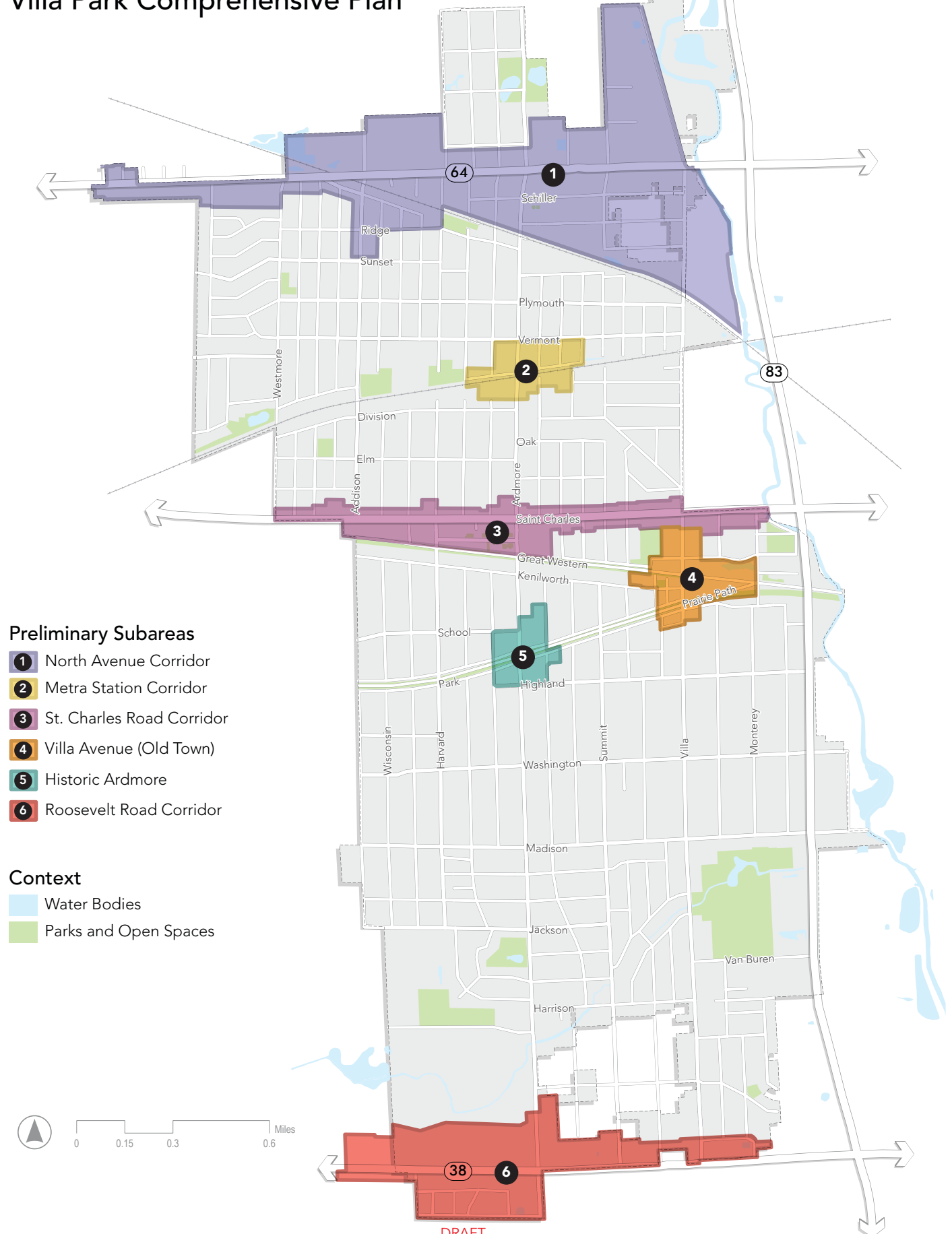
1. North Avenue Corridor
2. Metra Station Corridor
3. St. Charles Corridor
4. Villa Avenue (Old Town)
5. Historic Ardmore District
6. Roosevelt Road Corridor

Preliminary boundaries for subarea plan locations are based on initial field observations by our Project Team and reference points in the RFP. The memo contains a map of the preliminary subareas along with a brief description of each.

The Project Team will continue to work closely with Village staff to review and refine these six subareas. Our team will discuss existing opportunities and constraints and explore various land use and development scenarios specific to each subarea as we work through the planning process with the Village.

PRELIMINARY SUBAREA BOUNDARIES

Villa Park Comprehensive Plan



1. **North Avenue Corridor:** The North Avenue Corridor (Illinois Route 64) is a significant east-west road and state route in the northern area of Villa Park, stretching from the east to west municipal boundaries. The Illinois Department of Transportation classifies this area as a Strategic Regional Arterial. The corridor mainly consists of commercial properties but also includes residential, light industrial, and vacant land. Much like the Roosevelt Road Corridor, the corridor emphasizes vehicular movement with some regional commercial encompassing either side of the road.
2. **Metra Station Corridor:** The Metra Station Corridor surrounds the only Metra station in Villa Park, which serves the Union Pacific/West Line. The proposed subarea boundaries are Vermont Street (north) to Division Street (south) and Yale Avenue (west) to Douglas Avenue (east). The station and the multifamily housing adjacent to it may present a significant opportunity for additional transit-oriented development.
3. **St. Charles Road Corridor:** The St. Charles Road Corridor serves as a major east-west route through Villa Park and the western suburbs. The proposed subarea spans from Westmore Avenue (west) to Salt Creek (east) and is home to various retailers, restaurants, and offices. Additionally, there are many inactive storefronts and a lack of infrastructure to accommodate any form of movement other than a car.
4. **Villa Avenue (Old Town):** The Villa Avenue District, referred to as Old Town Villa Avenue, is a business district that stops short of St. Charles Road (north), Monterey Avenue (east), Myrtle Avenue (west), and Park Boulevard (south). It features a mix of residential, commercial, mixed-use, and institutional properties. There are good developments within this area which include the transformation of the former Ovaltine factory into the thriving Ovaltine Court apartment complex. Such developments provide good momentum for an area that could potentially serve as a destination within the Village.
5. **Historic Ardmore District:** The Historic Ardmore District, established in 1910, is a unique area with a diverse set of land uses. It was named after a Philadelphia suburb and initially developed around the Ardmore Avenue train station, which now houses the Chamber of Commerce and is a key landmark in this district. It extends from Princeton Avenue (west) to School Street (north), Cornell Street (east), and Highland Avenue (south). It is divided by the Illinois Prairie Path, Park, and Central Boulevard. The area includes offices, shops, taverns. Various community events are held within the district.
6. **Roosevelt Road Corridor:** Running along the southern edge of Villa Park, from the eastern to western municipal limits, the Roosevelt Road Corridor (Route 38) hosts a wide range of major retail options. The majority of Villa Park is situated north of the corridor, while Oak Brook Terrace is immediately to the south. The corridor facilitates regional vehicular movement. Much of the commercial retail within the sub area is big box and automobile oriented.