

Public participation is invited on each agenda item prior to the Board's deliberation. **When called upon, please approach the microphone and state your name and the address where you live. Kindly limit your remarks to three (3) minutes.**

VILLAGE OF VILLA PARK
Village Hall, Board Room Chambers
20 S. Ardmore Avenue
Villa Park, IL 60181

Planning and Zoning Commission

April 11, 2024

7:30 PM

Chairman Jason Jarrett

Commissioners: Larry Calvert, Edward Hofstra, Kenneth Jackson, Louis LeMieux, Eric Luedtke,
Michael Orlowski, Dominick Romano, Justin Shlensky

- 1. Call to Order - Roll Call**
- 2. Approval of Minutes**
 - a. Minutes
- 3. Public Hearing - New Business**
 - a. **PZ-24-02** / 600 N. Villa Avenue / Annexation, Plat of Subdivision, Zoning Map Amendment, Special Use, and Variation to allow parking in a street yard / **Petitioner:** Tomasz Rzedzian.
 - b. **PZ-24-04** / 806 S. Michigan Avenue / Variation for side yard setback / **Petitioner:** Scott and Renee Blondin.
 - c. **PZ-24-07** / 626 N. Addison Road / Special Use / **Petitioner:** Barry San.
 - d. **PZ-24-01** / 100 S. Villa Avenue / Zoning Map Amendment, Plat of Subdivision, Vacation of a Public Right-of-Way, Special Use for Planned Unit Development **Petitioner:** David Lyon.
- 4. Discussion Items**
- 5. Public Comments on Non-Agenda Items**
- 6. Adjournment**

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VILLAGE OF VILLA PARK, ILLINOIS
PLANNING AND ZONING COMMISSION

IN RE THE MATTER OF:)
)
VILLAGE OF VILLA PARK)
TEXT AMENDMENTS) PZ-24-05
Article 14 Measurements & Definitions)

PUBLIC HEARING

MARCH 14, 2024

7:30 P.M.

REPORT OF PROCEEDINGS had before the
VILLAGE OF VILLA PARK PLANNING & ZONING
COMMISSION, held at the Villa Park Village Hall,
20 South Ardmore Avenue, Villa Park, Illinois,
commencing at 7:39 o'clock p.m., on Thursday, the
14th day of March, 2024.

APPEARANCES: MR. JASON JARRETT, Chairman
MR. DOMINICK ROMANO, Commissioner
MR. KENNETH JACKSON, Commissioner
MR. MICHAEL ORLOWSKI, Commissioner
MR. LARRY CALVERT, Commissioner
MR. JUSTIN SHLENSKY, Commissioner
MR. EDWARD HOFSTRA, Commissioner
MR. LOUIS LeMIEUX, Commissioner

ALSO PRESENT: MR. NICK CUZZONE, Villa Park President
MR. MARC McLAUGHLIN, Community Development
MS. STEPHANIE BARAJAS, Planner

REPORTED BY LYN DOERING, CSR.

1 CHAIRMAN JARRETT: The first item
2 of business -- the only item -- PZ-24-05, Text
3 Amendments, Article 14, Measurements And
4 Definitions, Petitioner, Village of Villa Park.

5 We will start with staff input and since
6 the staff is the Petitioner, we will take care of
7 Petitioner input too.

8 MR. McLAUGHLIN: Good evening.

9 Yes, so this evening staff is coming
10 forward with some recommended text amendments to
11 our zoning ordinance, specifically Section 14.1,
12 Measurements.

13 There's a couple of issues that we have
14 noted that were just grammatical, spelling, some
15 misnumbering of exhibits, wrong exhibit in a
16 location where text was, so we are cleaning all
17 that stuff up.

18 But in addition to that we are also
19 removing some carryover from the previous zoning
20 ordinance that got carried over to this one,
21 eliminating those things and then correcting how
22 we measure building height and correcting the
23 contextual setback on how that is supposed to be
24 used appropriately, instead of how it is

1 currently.

2 So it's all three things; it's typos,
3 errors and then moving forward with corrective
4 changes, especially as we are doing second story
5 additions and regular additions.

6 So if you would like, I can go through
7 the whole thing one by one or open it up for
8 questions?

9 CHAIRMAN JARRETT: Yeah, seeing
10 that there is not currently anyone here from the
11 public, I would say let's walk through them one by
12 one. If any questions come up we can deal with
13 them one by one.

14 MR. McLAUGHLIN: Excellent.

15 CHAIRMAN JARRETT: And if somebody
16 from the public comes up we can give them an
17 opportunity to speak.

18 MR. McLAUGHLIN: All right. So I
19 am using the strike-through version, so I can see
20 the changes that were made.

21 As you know, Exhibit A is the clean
22 version. At the end of all of this that's the
23 exhibit to be recommended, not the strike-through.

24 First one, floor area, off street,

1 everywhere else in the ordinance is dashed.
2 Here it is not.

3 Setbacks/Measurements, No. 2, there's
4 additional setbacks required on North Avenue, St.
5 Charles Road and Roosevelt. That's a carryover.

6 When the MX District got approved it is
7 in direct conflict with those setbacks. We have
8 contextual setbacks. We are eliminating the whole
9 R District for contextual.

10 There's only four areas in town that are
11 OR and they are not adjacent to any other OR
12 District. They are their own entity. So there is
13 no contextual setback, because it's no vacant lots
14 in the OR District, nor do we see that that would
15 be in the future.

16 The very tiny one, but changes this, is
17 the next one, where it's a strike-through,
18 striking Setback and Greater/Or.

19 This -- A contextual setback is
20 traditionally when the home is placed closer to
21 the road than today would be required.

22 And so that when a new homeowner or new
23 home developer builds on that infill lot they have
24 the ability to place that home 20 or 25 feet to

1 get it in line with the homes that are closer.

2 The way that it's written currently is
3 that if the house was set back, say 50 or 60 feet
4 back, they would also be forced to put it 50 or 60
5 feet back and not at the 30 foot front yard
6 setback, as they are allowed per the bulk chart.

7 So by eliminating the Greater Than it
8 falls into what a contextual setback is supposed
9 to be doing.

10 Under 14.1 that description does not
11 define the image, so the strikeout of -- or that
12 is separated from the subject block by a street or
13 alley.

14 And then the exhibits were flipped. The
15 correct one is on top. The strike-through is on
16 the bottom.

17 So they are in line and you can see as
18 the exhibits continue they are all in the wrong
19 location. So now they are in the correct
20 location.

21 E is removed in its entirety.

22 And then the new E is in R Districts.
23 Any of the other language regarding Greater Than
24 or OR is also removed.

1 And then 14.14 was unnecessary.

2 Onto the table of permitted yard
3 obstructions, Table 14.1, all of the See Notes
4 were removed and it's just Yes.

5 And at the very bottom the actual notes
6 are gone. That's also a carryover. Those notes
7 are actually in the table, as you can see on the
8 far right column.

9 References to patios and decks above
10 4 feet of ground level were removed. We cannot
11 figure out why that extra caveat was built into
12 there, because we have decks that are above 4 feet
13 everywhere, so I don't know how we were allowed to
14 permit something if it was restricted to a deck
15 above 4 feet.

16 CHAIRMAN JARRETT: So this table is
17 very new.

18 MR. McLAUGHLIN: Uh huh.

19 CHAIRMAN JARRETT: I think it came
20 in when Ellen was here.

21 So the decks -- I believe what happened
22 is there was a table, not quite as thorough as
23 this one, but there was a table.

24 When Consuelo was here, to try to get

1 some text amendments done, there was quite a back
2 and forth with the Board and things got broken up.

3 MR. McLAUGHLIN: Okay.

4 CHAIRMAN JARRETT: Somehow in that
5 process, the table actually got eliminated from
6 the ordinance, even though it wasn't supposed to
7 be.

8 MR. McLAUGHLIN: Okay. From
9 hearing the stories of what happened in the past,
10 I could see how that happened; okay.

11 CHAIRMAN JARRETT: Yeah. So Ellen
12 worked with -- I am trying to remember -- I think
13 Vasili (SIC) and somebody else in the Village to
14 create this table.

15 And they spent, I would say, at least a
16 month or two going through, looking at the old
17 table that used to be in there, trying to decide
18 what was current today, and then trying to decide
19 if there were any standards that should be there
20 that weren't.

21 And my guess is like the 4 feet is kind
22 of common in some places, because above that
23 starts to become an obstruction of sorts.

24 Especially like I know in Chicago 4 feet

1 is the number they use for open space. Anything
2 above 4 feet can't be counted as open space in
3 their rear yard open space requirement. So that's
4 probably where that came from.

5 MR. McLAUGHLIN: It could be.

6 CHAIRMAN JARRETT: But that would
7 have been a decision made by Ellen and staff.

8 So if you guys think it's unnecessary?

9 MR. McLAUGHLIN: We do think it's
10 unnecessary because we are reviewing permits for
11 decks regularly that is above 4 feet just because
12 of topography.

13 If you have a drop down in the back and
14 they are doing a deck and it's above 4 feet this
15 restricts me from issuing that deck permit. But I
16 also can't make them lower their door, so I am
17 caught. So the 4 foot did not seem beneficial.

18 And there is nothing the building code
19 restricts from the height either. You can build a
20 deck 20 feet in the air.

21 So we couldn't find anywhere between the
22 building code or practicality that it made sense
23 to keep the 4 foot ground level.

24 CHAIRMAN JARRETT: Okay.

1 MR. McLAUGHLIN: A bunch of Yes.

2 There was a No, See Notes also, so we
3 got rid of that.

4 All right. And at the end of the table
5 you see the notes. Those are all struck out
6 because those have been built into the table. So
7 again, a carryover.

8 And then we get down to building height.
9 The way that the ordinance currently measures
10 building height is from the top of curb out in the
11 street to the building height of the structure.
12 And that building height then is the highest point
13 of a flat roof, the deck line of a mansard or the
14 mean of a hip, gable, traditional, peak roof.

15 With the number of second story addition
16 permits that we are reviewing right now there is
17 no calculation on what the height of the curb is
18 because it's not pertinent to the project.

19 So we are getting a plan set, an
20 architectural set, that says, Finished grade to
21 building height.

22 And we do the review and the first thing
23 is, Now go hire a surveyor and get a topo done to
24 tell me what the elevation of the curb is, that's

1 approximately 40 feet from the structure you are
2 actually trying to construct.

3 And that conversation does not go very
4 well.

5 And I also don't believe that the curb
6 height is a true indicator of how high that
7 building is because it doesn't take into
8 consideration the topography of the front yard.
9 There is a gain. There is a drop.

10 I believe -- and this is what staff has
11 written -- that the building height is reflective
12 of the grade that the building is at, at the front
13 of the elevation.

14 And so we have drafted this to remove:

15 Top of curb in front of the building.

16 And added:

17 The finished lot grade at the horizontal
18 midpoint of the front of the building.

19 And we did not do four corners, we did
20 not do the average, because we do have English,
21 walkout, other conditions that they shouldn't be
22 penalized for the front building height because of
23 topography.

24 Additionally, we added clarity that it

1 is the average -- sorry -- the mean level between
2 the highest eve and the highest ridge for a hip,
3 gable, gambrel or those types of roofs.

4 There has been interpretation on some
5 architects we have been working with that the
6 lowest eve to the highest -- because it's not
7 clear, an eve is an eve and a ridge is a ridge.

8 So are you supposed to calculate, this
9 is 10 percent of the roof line is this level, and
10 then the other 90 percent is this level, and then
11 you do a formula.

12 We are trying to make it clear so an
13 architect can submit without the full topo that
14 says, Here is my base elevation, the building is
15 this height, based on the highest eve and the
16 highest ridge.

17 The second caveat, if no curb exists,
18 let's measure it a completely different way.

19 Yeah, the rest of it is just the regular
20 code. No additions.

21 So in summary, those are the recommended
22 changes.

23 CHAIRMAN JARRETT: So on the roof
24 height?

1 MR. McLAUGHLIN: Yes.

2 CHAIRMAN JARRETT: Highest eve and
3 highest ridge?

4 MR. McLAUGHLIN: Yeah.

5 CHAIRMAN JARRETT: So is that on
6 the primary roof or --

7 MR. McLAUGHLIN: Exceptions does
8 not include --

9 CHAIRMAN JARRETT: Let's say you
10 have dormers. Is the highest eve the eve on the
11 dormer?

12 MR. McLAUGHLIN: Let's see, we have
13 exceptions built into here. Hold on one second.

14 CHAIRMAN JARRETT: The highest
15 ridge makes sense.

16 MR. McLAUGHLIN: Yeah.

17 CHAIRMAN JARRETT: Eve is what I am
18 wondering about though.

19 MR. McLAUGHLIN: You are
20 considering potentially that dormer eve being --

21 CHAIRMAN JARRETT: I am not saying
22 it should be, but somebody might say, Well, this
23 is our highest eve here.

24 MR. McLAUGHLIN: Right.

1 Dormer is not contemplated and it is not
2 listed as one of the exceptions.

3 That was not the intention though but I
4 see how it could be built into it.

5 MS. BARAJAS: If we are talking
6 about roofs, a dormer is not a roof, and this
7 specifically calls out ridge or eve for hip, gable
8 and gambrel roofs. So I don't know if we could...

9 MR. McLAUGHLIN: Is a dormer an
10 architectural element, not the roof.

11 COMMISSIONER SHLENSKY: Because
12 presumably the dormer would never -- The ridge of
13 the dormer would not be taller --

14 MR. McLAUGHLIN: Right.

15 COMMISSIONER SHLENSKY: -- or
16 higher than the ridge of the actual primary
17 structure.

18 MR. McLAUGHLIN: Right. Equal at
19 best.

20 COMMISSIONER SHLENSKY: Sure, it
21 could be equal.

22 But does our code expressly prohibit the
23 ridge of the dormer being any higher than the
24 ridge of the primary structure?

1 MR. McLAUGHLIN: It doesn't.

2 And that's why I was looking at the
3 exceptions; that if they excluded the dormer we
4 wouldn't even have to take that into consideration
5 for the calculation.

6 COMMISSIONER SHLENSKY: Because
7 traditionally the ridge of the actual house itself
8 would be the tallest part, as opposed to the
9 dormer as an architectural design element.

10 MR. McLAUGHLIN: Right.

11 Like chimney is an exception. We don't
12 measure to the chimney.

13 COMMISSIONER SHLENSKY: Right.

14 MR. McLAUGHLIN: Which this is
15 still open and fully vetted. If we want to add
16 clarity you guys can put dormer as an exception
17 to, and then take it out of the equation for a
18 roof, on a motion.

19 Because I don't want to measure from the
20 dormer. It's a good point.

21 CHAIRMAN JARRETT: Yeah, I mean, we
22 are talking about -- What we are trying to clarify
23 is we are talking about the primary eve on the
24 primary --

1 MR. McLAUGHLIN: Yeah.

2 CHAIRMAN JARRETT: -- the highest
3 primary roof.

4 MR. McLAUGHLIN: Yeah.

5 CHAIRMAN JARRETT: The highest
6 ridge is always going to be the highest ridge.

7 MR. McLAUGHLIN: Yeah.

8 CHAIRMAN JARRETT: So that's kind
9 of self-explanatory.

10 COMMISSIONER LEMIEUX: It would
11 seem to make sense to have the dormer as an
12 exception because it would raise the mean height
13 unnecessarily.

14 MR. McLAUGHLIN: Right.

15 COMMISSIONER LEMIEUX: And it would
16 be restrictive to a homeowner.

17 MR. McLAUGHLIN: Yes, agreed.

18 COMMISSIONER SHLENSKY: Presuming
19 that we don't get this crazy design where we have
20 a whole bunch of dormers placed on the house.

21 MR. McLAUGHLIN: Looks like a
22 crown?

23 COMMISSIONER SHLENSKY: Yeah.

24 CHAIRMAN JARRETT: So we would be

1 adding dormers to --

2 MR. McLAUGHLIN: 2B.

3 CHAIRMAN JARRETT: 2B.

4 MR. McLAUGHLIN: I would put it, if
5 you wouldn't mind, after chimney, before cooking
6 towers.

7 CHAIRMAN JARRETT: Yeah, that makes
8 sense.

9 Do we need to put that into a motion or
10 could we just verbalize this to you now?

11 MR. McLAUGHLIN: As amended; right?

12 CHAIRMAN JARRETT: Yeah.

13 MR. McLAUGHLIN: Motion as amended,
14 if you want to do a voice or something right now
15 for that, that would be fine.

16 CHAIRMAN JARRETT: Yeah.

17 Does anybody have any issue with putting
18 dormer into exceptions --

19 COMMISSIONER JACKSON: Exceptions
20 under 14.1.

21 COMMISSIONER SHLENSKY: We are
22 going to add the term Dormer between the terms
23 Chimney and Cooking Towers in Section
24 14.1.10(A)(2)(B).

1 CHAIRMAN JARRETT: I'm trying to
2 visualize something with the setbacks.

3 COMMISSIONER SHLENSKY: What page
4 are you on?

5 CHAIRMAN JARRETT: Page 16,
6 Residential setbacks.

7 I am trying to remember if we have parts
8 of the Village where -- I feel like we do but I am
9 not sure if they are incorporated or not -- where
10 entire blocks are set back more than would be
11 typical.

12 MR. McLAUGHLIN: Without infill?

13 CHAIRMAN JARRETT: I mean, there
14 are.

15 COMMISSIONER HOFSTRA: Look south
16 of Sugar Creek where I live.

17 CHAIRMAN JARRETT: Yeah, the west
18 side of Villa.

19 MR. McLAUGHLIN: So here is the
20 catch -- and we thought this one through.

21 That's where it is right now. And if
22 there is an infill lot that wants to submit a
23 permit I cannot allow them to build at the 30 foot
24 setback line. They have to be built at the

1 greater contextual setback.

2 Their neighbors that dictated that
3 contextual setback at the same exact time can
4 apply for an addition all the way up to that 30
5 foot setback line because it's not an infill
6 development. It penalizes the vacant lot.

7 CHAIRMAN JARRETT: I might
8 interpret an addition as an infill development
9 personally but I can see -- I don't have a problem
10 with what you are trying to accomplish. I am
11 trying to visualize if there are places where it
12 creates issues.

13 COMMISSIONER ORLOWSKI: I think the
14 only places we have like that are in the
15 unincorporated areas that were required to have
16 wells and --

17 MR. McLAUGHLIN: Septic.

18 COMMISSIONER ORLOWSKI: -- and
19 septic.

20 CHAIRMAN JARRETT: Summit south of
21 Harrison is like that but that's not in the
22 Village.

23 MR. McLAUGHLIN: Yeah, the
24 requirement --

1 COMMISSIONER HOFSTRA: All west --
2 All east of Villa Park has that, south of Sugar
3 Creek, east of Villa Park has that. I live there.

4 COMMISSIONER ORLOWSKI: Yeah, it
5 used to be all unincorporated.

6 COMMISSIONER HOFSTRA: About 20, 22
7 years ago it was unincorporated.

8 MR. McLAUGHLIN: Yeah, by requiring
9 a contextual setback to be greater than it is
10 required by a 30 foot front yard setback you are
11 forcing the backyards to be smaller on a fresh
12 build as well, which obviously means it's a longer
13 driveway, it's a more impervious surface, it's a
14 higher cost.

15 And you are committed to that without
16 coming forward with a variation on every one of
17 these. And we are seeing eight new single-family
18 homes last year. We only have infill lots. So
19 that's eight infill developments.

20 And moving forward we are expecting the
21 remainder of them to get built out in the next
22 five or ten years. So this is a correction we
23 want to make now.

24 CHAIRMAN JARRETT: Obviously the

1 contextual setback closer to the street is more
2 common with what we have.

3 MR. McLAUGHLIN: Uh huh.

4 COMMISSIONER LEMIEUX: I was
5 wondering if maybe you could clarify if there
6 should be any notes on the sump pump discharge
7 pipe extensions, if it should be similar to
8 gutters or downspouts.

9 Is there -- Does the fact that there is
10 no note for a sump pump discharge pipe
11 extension -- does that mean -- does that mean that
12 you can put a sump pump pipe extension as far out
13 as you would like in the front and the rear and in
14 the side?

15 And should there be -- I would think,
16 especially if a person has a rear yard abutting
17 their side yard, that they might not want that
18 sump pump discharge discharging into their
19 backyard or into their side yard.

20 MR. McLAUGHLIN: Sure.

21 So for clarity, the sump pump discharge
22 pipe extension, the Yes in the front, which means
23 that, Yes, it can go beyond the 30-foot setback.

24 COMMISSIONER LEMIEUX: Yes.

1 MR. McLAUGHLIN: Right?

2 No, on the side yard. So it can only go
3 up to the 5 foot mark -- so that's -- 6 foot mark,
4 so it cannot be closer than 6 feet to the property
5 line.

6 And then again, Yes, in the rear yard.
7 It can go up to 5 feet from the rear. So you can
8 go all the way back.

9 Keep in mind though there still is the
10 storm water ordinance that says you cannot push
11 water onto a neighboring property, which still
12 applies which doesn't have anything to do with
13 zoning.

14 COMMISSIONER LEMIEUX: Okay.
15 Because that would be a concern.

16 MR. McLAUGHLIN: Right, absolutely.
17 That's a different authoritative arm I
18 don't have. That's our engineer.

19 COMMISSIONER LEMIEUX: Okay. Thank
20 you.

21 MR. McLAUGHLIN: This was the idea
22 to get it away from your foundation.

23 COMMISSIONER LEMIEUX: Yes.

24 CHAIRMAN JARRETT: I did have

1 another question that you just reminded me of.

2 With swimming pools and sports courts, I
3 see where striking the, Including decks and paved
4 area and all that.

5 Is that simply because you don't think
6 it's necessary because the existing setback
7 requirements should make that so?

8 MR. McLAUGHLIN: Decks and paved
9 areas have their own requirements. It doesn't
10 need to be specified under swimming pool.

11 CHAIRMAN JARRETT: I just wanted to
12 make sure that was the case, because I know Ellen
13 had a specific -- and that may be why this
14 language was in here.

15 She was fighting a specific issue at the
16 time, where someone had already installed their
17 in-ground pool. I don't know if they installed
18 the concrete deck or started to or tried to pull a
19 permit to, and the pool was like 5 feet from the
20 property line, and they wanted to concrete all the
21 way to the...

22 MR. McLAUGHLIN: Some people want
23 things they just can't have.

24 COMMISSIONER ORLOWSKI: They

1 already had the pool when they applied for the
2 concrete.

3 MR. McLAUGHLIN: Yeah.

4 CHAIRMAN JARRETT: That may be why
5 that was in there, but I wanted to make sure we
6 weren't pushing pavement closer.

7 MR. McLAUGHLIN: No.

8 CHAIRMAN JARRETT: Good.

9 MR. McLAUGHLIN: It has its own
10 section. It doesn't need to be reiterated in
11 another section.

12 CHAIRMAN JARRETT: That's what I
13 thought.

14 MR. McLAUGHLIN: Yep.

15 CHAIRMAN JARRETT: I don't think I
16 have any other questions.

17 Does anybody else have any other
18 questions, comments, anything?

19 COMMISSIONER SHLENSKY: Can you
20 reiterate the rationale for striking Figure 14.4?

21 MR. McLAUGHLIN: Oh, sure.

22 COMMISSIONER SHLENSKY: Because I
23 see like the demonstrative examples, and I
24 understand the rationale for including Figures

1 14.1, 14.2 and 14.3, but it seems as though 14.4
2 is being stricken?

3 MR. McLAUGHLIN: Because it is the
4 same as 14.3.

5 You only use the two to the left or to
6 the right, if you are at an intersection, a corner
7 lot.

8 That particular one, 14.4, created
9 confusion by saying you go this block or this
10 block, if you are the corner.

11 COMMISSIONER SHLENSKY: Uh huh.

12 MR. McLAUGHLIN: But it's not,
13 because one is your side yard, which it clearly
14 says you don't use. You only use the front yard
15 as your calculation. So it created a potential
16 conflict for future interpretation.

17 14.3 tells us what we actually need.

18 COMMISSIONER SHLENSKY: So only
19 utilizing what is detailed as the street yard
20 depth; is that correct?

21 MR. McLAUGHLIN: Yes.

22 COMMISSIONER SHLENSKY: Okay.

23 MR. McLAUGHLIN: Because contextual
24 setback only applies to the front. It never

1 applies to the side street yard.

2 COMMISSIONER SHLENSKY: Okay. Then
3 the note on the 20-foot setback in R Districts,
4 was that -- I see that's written -- It seems like
5 that's written in as opposed to it being left in
6 from you striking elsewhere?

7 MR. McLAUGHLIN: I struck the whole
8 thing. Which you will notice midway through that
9 it says 20-foot.

10 COMMISSIONER SHLENSKY: Yeah.

11 MR. McLAUGHLIN: I just rewrote it
12 for clarity because it's in an R District. It's
13 the same number.

14 COMMISSIONER SHLENSKY: Okay. Just
15 rewritten because it didn't formulate the correct
16 way?

17 MR. McLAUGHLIN: It was pretty
18 ugly.

19 Struck, took the words I needed, kept
20 the number.

21 COMMISSIONER SHLENSKY: Out of F,
22 now E.

23 MR. McLAUGHLIN: Correct.

24 So as a note -- that's a good point --

1 no bulk chart numbers are changing in any of this
2 stuff.

3 So if it was 20, it's still 20.

4 The building height is still 28. It's
5 just how do we calculate it.

6 So the bulk chart has not been discussed
7 in this, and that's why it's only 14.1, not
8 subsection 2 or 3.

9 So for clarity, we are not changing the
10 actual distances or heights.

11 CHAIRMAN JARRETT: Anything else,
12 Justin, or anyone else?

13 COMMISSIONER SHLENSKY: Not on that
14 one.

15 I am not sure if we need to open or
16 invite conversation on the potential striking of
17 the 4 feet above ground level for the decks.

18 But I do appreciate the cleanup of
19 removal of the See Notes and revising, you know,
20 must be back at least 5 feet, as opposed to
21 percentage, and yeah, you did a very clean job.

22 CHAIRMAN JARRETT: So you are
23 wanting to have a conversation about whether decks
24 over 4 feet should be permitted or whether there's

1 --

2 COMMISSIONER SHLENSKY: Just given
3 the history, is striking it -- does this
4 Commission feel comfortable striking it or do we
5 want to clear the condition of no more than 4 feet
6 above ground level?

7 CHAIRMAN JARRETT: Express to me
8 what situation you are trying to avoid. I think I
9 know but I just want you to say it.

10 COMMISSIONER SHLENSKY: I am trying
11 to be diplomat, if I can, about this.

12 CHAIRMAN JARRETT: You don't have
13 to be specific.

14 COMMISSIONER SHLENSKY: I see it as
15 a potential safety issue.

16 So if we do want the open decks with
17 just the two conditions of the -- must be set back
18 at least 5 feet from the side lot, must be set
19 back at least 5 from the rear lot line, the
20 removal of the condition of, No more than above
21 4 feet, I just want to ensure that that is not
22 going to invite safety hazards for our residents.

23 CHAIRMAN JARRETT: The building
24 code requires railings above a certain height;

1 correct?

2 MR. McLAUGHLIN: Yeah.

3 CHAIRMAN JARRETT: What is that
4 rating?

5 MR. McLAUGHLIN: Two steps.

6 Anything with two steps requires a
7 handrail and then full railing around it, which is
8 obviously less than 4 feet.

9 CHAIRMAN JARRETT: But I do think
10 you are visualizing -- and I --

11 They are only permitted in the rear
12 yard, but I can see potentially visualizing a
13 deck. Like if I was to build a deck off the back
14 of my house, it would probably be 6 feet up.

15 MR. McLAUGHLIN: And that's the
16 problem we are coming with as people tear down
17 their 25 year old deck and I am trying to issue a
18 permit, but now it's a structure that's been
19 removed, and I have to allow -- have to permit it
20 per what I am allowed, and that's 4 feet; that's a
21 problem.

22 COMMISSIONER SHLENSKY: And then
23 dropping that down, for example, 2 feet, from 6 to
24 4, and then having to then build a staircase up to

1 whatever the point of ingress and egress is.

2 MR. McLAUGHLIN: Right, from his
3 door.

4 COMMISSIONER SHLENSKY: Could
5 create even more of a safety hazard than just
6 having a deck be 6 feet where that door is already
7 at.

8 MR. McLAUGHLIN: Correct.

9 Because the ledger is supposed to attach
10 to your joist in the home, not to a couple studs
11 that are a foot below your ledger.

12 It's a construction problem. It's a
13 construct-ability issue; that if we are forcing it
14 to be at 4 feet, we are just arbitrarily
15 connecting the building, which per building code,
16 it's going to be built to today's standards, not
17 what we are seeing in the past. It doesn't make
18 sense.

19 CHAIRMAN JARRETT: Is deck defined
20 in our ordinance?

21 MR. McLAUGHLIN: We are going to do
22 a definitions zoning text amendment later in the
23 year. And if it isn't right now, it will be. We
24 don't think that it is.

1 CHAIRMAN JARRETT: I think what
2 Justin is trying to avoid is a situation where a
3 deck becomes something in terms of a balcony, in
4 terms of like height -- well, maybe in terms of
5 safety.

6 MR. McLAUGHLIN: Yeah.

7 CHAIRMAN JARRETT: But if there is
8 no limit, then what's to stop somebody from
9 building a deck off of the back half of their
10 split level at 6 or 8 feet and calling it a
11 deck --

12 MR. McLAUGHLIN: Sure.

13 CHAIRMAN JARRETT: -- instead of a
14 balcony and filling up all the backyard they can
15 and creating an 8 foot overhang to their
16 neighbors?

17 Will that happen? Probably not but
18 probably.

19 COMMISSIONER ROMANO: That would be
20 my question, if we take this limit out, if
21 somebody wants to do a deck that connects every
22 story of their house and multiple overhangs, they
23 can with really no limit once this is out.

24 MR. McLAUGHLIN: Yeah, right.

1 From the construction standpoint there
2 is no difference between a balcony or a deck.
3 They are constructed the same exact way.

4 There is no building code that says a
5 balcony can't have posts, for example, Juliet
6 balcony hanging off the side, or that it has to be
7 suspended.

8 They are all the same thing, which is
9 why we have to do the interpretation internally
10 when we talk to people about deck versus balcony.

11 We all know what we think we see a deck
12 is; right? And we all think we know what a
13 balcony is. And the next round will be adding
14 additional definitions to actually say what those
15 things are.

16 But we are issuing decks or reviewing
17 decks right now that are 4 1/2, 5, 6 feet because
18 that's where the rear door is.

19 CHAIRMAN JARRETT: Yeah. And I
20 understand the practical difficulty, so to speak,
21 of requiring everyone in that situation to seek a
22 variation, especially when replacing a deck.

23 MR. McLAUGHLIN: Yeah.

24 It was tied to patio also. And they

1 were both there; patios and terraces no more than
2 4 feet above ground level. The same exact
3 language for deck and patio and we could not
4 figure out how patio was tied to that at all.

5 CHAIRMAN JARRETT: That would be a
6 lot of concrete.

7 MR. McLAUGHLIN: Exactly, yes, a
8 lot.

9 COMMISSIONER ROMANO: Ambiguity
10 with that too is discovered.

11 COMMISSIONER ORLOWSKI: I think as
12 long as we are working on definitions for the deck
13 and the balconies, I have no problem with that.

14 CHAIRMAN JARRETT: What is our
15 minimum side yard in a standard R District?

16 MS. BARAJAS: 6 feet.

17 CHAIRMAN JARRETT: So I think what
18 people would be trying to avoid is a situation
19 where you have a deck that's 8 feet off the
20 ground, 6 feet from your property line, 10 feet
21 off the ground, and then, you know, like coming
22 off basically a --

23 MR. McLAUGHLIN: I am trying to
24 visualize.

1 CHAIRMAN JARRETT: Yeah.

2 So it becomes essentially a structure
3 for your neighbor nextdoor. So all safety aside,
4 it starts to become like as if somebody built a
5 pergola or something.

6 It's just avoiding the potential for
7 that happening somehow without hamstringing you
8 with an existing situation.

9 COMMISSIONER ROMANO: There's no
10 square footage limitations on deck?

11 MR. McLAUGHLIN: There is still lot
12 coverage.

13 Deck falls under lot coverage
14 calculations. So you can't deck your entire
15 backyard. There is still a limit on that.

16 But there is not a square footage
17 maximum. So it follows similar setbacks, side
18 yard, yeah.

19 COMMISSIONER ROMANO: Yeah, I
20 agree. I think 4 foot is limiting in a lot of
21 circumstances.

22 It is better to hit that door level than
23 anything else, but I don't think anybody wants a
24 three story or a two story deck, and that wouldn't

1 do the yard coverage problem but...

2 MR. McLAUGHLIN: And we are seeing
3 that permit come through. We are seeing, I need
4 to replace my deck, and it's at more than 4 feet.

5 COMMISSIONER JACKSON: You think
6 maybe this was meant for those folks that have
7 freestanding decks that don't have guardrails on
8 them?

9 MR. McLAUGHLIN: There are -- We
10 did issue a couple of permits last year for a deck
11 that was in the yard that was not attached to an
12 additional structure. Those were mounted off the
13 ground by this much, and maybe that's what it was
14 for, but I don't know that it got what whoever
15 wrote that intended.

16 CHAIRMAN JARRETT: Do you need to
17 deal with that?

18 COURT REPORTER: Kind of.

19 CHAIRMAN JARRETT: Please, yeah.
20 We are going to recess for five minutes.

21 (Whereupon a recess was had).

22 CHAIRMAN JARRETT: Bring us back to
23 order.

24 We were discussing the 4 feet. I guess

1 I don't have a problem striking it.

2 I just want to make sure that if we make
3 additional ordinance changes we look at how to
4 avoid those types of situations. I don't know the
5 best way to do that.

6 COMMISSIONER SHLENSKY: My
7 commentary was such that for the aspect of keeping
8 the spirit of what a deck is, along with the
9 safety measures -- and I understand the handrails
10 and I appreciate you bringing that to our
11 attention.

12 I just don't want people to abuse the
13 terminology of a deck and have it be a deck in
14 name only and not actually fulfill the spirit and
15 purpose of what it should be, as either from the
16 supermajority of them, as an exterior attachment
17 to the house. There are a few circumstances have
18 a standalone deck presumably in the center of the
19 yard.

20 MR. McLAUGHLIN: I understand.

21 CHAIRMAN JARRETT: I wonder if the
22 4 feet might have come from the Chicago zoning
23 ordinance.

24 Because I was looking at our definition

1 of height. And I thought, I know Chicago has the
2 same conceptual thing, so let me go see, look at
3 the language, how they deal with it. It's the
4 identical language, word for word.

5 And I know Chicago uses 4 foot for their
6 definition of rear yard open space. So a deck 4
7 feet or lower counts as rear yard open space.
8 They have a specific rear yard open space
9 calculation.

10 Anything above the 4 foot does not count
11 as rear yard open space. So if you have a deck at
12 6 feet or on the roof of the garage or something
13 like that, you would have to get a variation from
14 rear yard open space to count that towards it.
15 That may be where that came from.

16 MR. McLAUGHLIN: Yeah, if the
17 language is identical, yes, go with that.

18 CHAIRMAN JARRETT: All right.
19 Anything else?

20 MR. McLAUGHLIN: So as you see, the
21 last one, the recommendation is just to call out
22 Exhibit A, as that's the clean version with all
23 the redlines with the, As Amended.

24 CHAIRMAN JARRETT: Yeah, As

1 Amended, whoever makes that motion.

2 COMMISSIONER HOFSTRA: I will make
3 a recommendation of approval of PZ-24-05 for a
4 Zoning Ordinance Text Amendment, as outlined in
5 Exhibit A, as amended.

6 CHAIRMAN JARRETT: All right. We
7 have a motion.

8 Is there a second?

9 COMMISSIONER ORLOWSKI: I will
10 second that.

11 CHAIRMAN JARRETT: Seconded.

12 Any questions or comments on the motion?

13 (No response.)

14 CHAIRMAN JARRETT: Okay. Roll
15 call:

16 Calvert?

17 COMMISSIONER CALVERT: Yes.

18 CHAIRMAN JARRETT: Hofstra?

19 COMMISSIONER HOFSTRA: Yes.

20 CHAIRMAN JARRETT: Jackson?

21 COMMISSIONER JACKSON: Yes.

22 CHAIRMAN JARRETT: LeMieux?

23 COMMISSIONER LEMIEUX: Yes.

24 CHAIRMAN JARRETT: Orlowski?

1 COMMISSIONER ORLOWSKI: Yes.

2 CHAIRMAN JARRETT: Romano?

3 COMMISSIONER ROMANO: Yes.

4 CHAIRMAN JARRETT: Shlensky?

5 COMMISSIONER SHLENSKY: Yes.

6 CHAIRMAN JARRETT: I too vote yes.

7 With that our recommendation passes to
8 the Village Board.

9 (Proceedings concluded at
10 8:00 p.m.)

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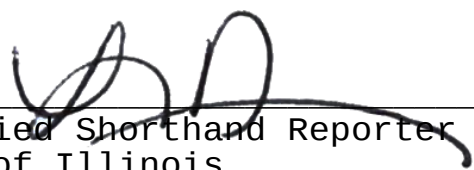
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IN RE THE MATTER OF:)
)
PUBLIC COMMENT)

7:30 P.M.

REPORT OF PROCEEDINGS had before the
VILLAGE OF VILLA PARK PLANNING & ZONING
COMMISSION, held at the Villa Park Village Hall,
20 South Ardmore Avenue, Villa Park, Illinois,
commencing at 7:32 o'clock p.m., on Thursday, the
14th day of March, 2024.

APPEARANCES: MR. JASON JARRETT, Chairman
MR. DOMINICK ROMANO, Commissioner
MR. KENNETH JACKSON, Commissioner
MR. LARRY CALVERT, Commissioner
MR. JUSTIN SHLENSKY, Commissioner
MR. EDWARD HOFSTRA, Commissioner
MR. MICHAEL ORLOWSKI, Commissioner
MR. LOUIS LeMIEUX, Commissioner

ALSO PRESENT: MR. NICK CUZZONE, Villa Park President
MR. MARC McLAUGHLIN, Community Development
MS. PAT BOKSHA, Office Coordinator

REPORTED BY LYN DOERING, CSR.

1 CHAIRMAN JARRETT: I would like to
2 make a motion to move Agenda Item No. 5 ahead of
3 No. 3.

4 Is there a second?

5 COMMISSIONER ORLOWSKI: Second.

6 CHAIRMAN JARRETT: Motion seconded
7 by Orłowski.

8 Any questions, comments?

9 (No response.)

10 CHAIRMAN JARRETT: All in favor?

11 ALL PRESENT: Aye.

12 CHAIRMAN JARRETT: Any public
13 comments on non-agenda items please?

14 MR. AMORE: Thanks for changing the
15 order for me. My name is Joe Amore, 309 East Maple
16 Street.

17 I serve on the Environmental Concerns
18 Commission and Bike Pedestrian and Transit
19 Subcommittee. This is not an action item on their
20 behalf.

21 Over my travels I happened to go to a
22 meeting in Wheaton. They have what's called a
23 Bicyclist and Pedestrian Commission. So we
24 coordinate on some shared prairie path items and

1 share information.

2 I was impressed with the fact that even
3 though the governor's emergency order has been
4 eliminated, they have worked out a process where
5 they can have their commission meetings over
6 Zoom-type access.

7 So I emailed all the village officials
8 that I had email addresses to concerning the fact
9 that we should create a common space for all the
10 commissions to be able to have that opportunity to
11 better serve the public and to get more
12 attendance.

13 One of the things is that of course the
14 Village, in its diligence, will not provide email
15 addresses to -- on the public facing websites to
16 the commissioners who aren't part of the Village
17 staff.

18 So I made copies of that email. I would
19 like to pass it out here. I brought you an extra
20 one for whoever is not here tonight.

21 Basically the email is self-explanatory.
22 It talks about what I proposed.

23 I had contact with the City of Wheaton's
24 clerk. They told me that all the information that

1 was created to have this -- the ordinances, the
2 work, was done in-house, and anything that we
3 would need to assist us in setting something up,
4 they would be happy to share with us.

5 The picture on the first email is a
6 picture of their commission that had commissioners
7 who were traveling in attendance and a member of
8 the public who wasn't able to make it in person in
9 attendance.

10 The important thing I guess is the fact
11 they did it in-house and they were able to write
12 the property ordinances so that would be in
13 compliance with the Open Meetings Act.

14 The second page is their agenda that
15 comes out every month. And on that agenda they
16 also provide their Zoom access. And anybody who
17 has been a Zoom moderator knows you have control
18 over content and who speaks and it really works
19 pretty well for them.

20 So I was hoping to come to all of the
21 commissions this month, offer this as an option,
22 let them know it's something I have been
23 encouraging the Village to look into. I spoke
24 about it at the Board this month, I spoke about it

1 at the last Village meeting, the Board meeting.

2 So if you get a chance, you know, it's
3 not an actionable item. I just wanted to bring it
4 to your attention and any further information that
5 I gather, I will be able to provide at a later
6 date.

7 CHAIRMAN JARRETT: Okay.

8 MR. AMORE: That's Item 1.

9 Item 2 is, you know, I retired as a
10 Metra conductor and I have seen a lot of
11 communities that have spaces and I have complained
12 more than once about TIF 6 and what they need to
13 do to build that up.

14 And even in today's kind of like lower
15 level building environment you can still go to
16 towns where you are seeing tower cranes building
17 near the Metra stations.

18 So we have that opportunity here in
19 Villa Park. I mean, if you can redo TIF 6, take
20 down those low rent apartment buildings on both
21 sides of the tracks and redevelop that area, where
22 you can put a new business district, a new
23 community, where people still -- like I said, as a
24 Metra conductor -- they are not working five days

1 a week. They need to be in person three days a
2 week now.

3 So that might be something you guys
4 might want to look into because we are sorely
5 lagging behind in creating new opportunities for
6 residents, businesses.

7 Metra is a long-sought item. I mean,
8 they want to expand into counties that aren't even
9 in the RTA Transit District. So it's something
10 you should look into.

11 And finally the third item, I am about
12 in the community a lot and I had a neighbor
13 complain about a property at 8 West Terrace.

14 And from the front everything looks fine
15 but there is some type of construction or
16 something going on and they can only see it from
17 the back of the building.

18 And they have a gigantic pile of wood
19 leaning against the building. It looks like wood
20 debris that they are piling up and it looks like
21 it could be a fire hazard.

22 And she says it's unsightly. She sees
23 it from the backyard and she is wondering if
24 somebody could do something about it.

1 CHAIRMAN JARRETT: I appreciate you
2 bringing that to our attention.

3 And Marc and Stephanie here would
4 definitely be the people that need to know that
5 stuff. It's a good place to make it public.

6 MR. AMORE: Yeah, thanks.

7 Like I said, thanks for moving the
8 agenda around for me. I am around. Justin knows
9 how to get ahold of me. If you have any
10 questions, feel free to reach out.

11 CHAIRMAN JARRETT: Thanks. I am
12 sure the train station area will get quite a bit
13 of focus in the comprehensive plan and
14 unfortunately the development that's supposed to
15 be going on there looks like it hit some snags, so
16 hopefully as a Village we can find our way through
17 that.

18 MR. AMORE: Thanks.

19 I brought it to someone's attention when
20 they put the new parking lot there on Beverly and
21 they put the new parking lot in but they never
22 extended the sidewalk to the train station. It
23 just ends at the dirt.

24 And I don't know whose responsibility

1 that is, but we are going to make a formal mention
2 of it at our next BP&T meeting. So we will bring
3 it to someone's attention and hopefully it can be
4 resolved one way or the other.

5 CHAIRMAN JARRETT: Sounds good.
6 Thank you very much.

7 MR. AMORE: You are welcome.
8 (Proceedings concluded at
9 7:38 p.m.)

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1 I, LYN DOERING, Certified Shorthand
2 Reporter and Notary Public in and for the State of
3 Illinois do hereby certify that the foregoing
4 proceedings were reported stenographically by me,
5 was thereafter reduced to a printed transcript by
6 me, and constitutes a true record of the testimony
7 given and the proceedings had;

8 That I am not a relative or employee or
9 attorney or counsel, nor a relative or employee of
10 such attorney or counsel for any of the parties
11 hereto, nor interested directly or indirectly in
12 the outcome of this action.

13 IN WITNESS WHEREOF, I do hereunto set my
14 verified digital signature at Chicago, Illinois,
15 this 5th day of April, 2024.

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IN RE THE MATTER OF:)
)
COMMISSION DISCUSSION)

7:30 P.M.

REPORT OF PROCEEDINGS had before the
VILLAGE OF VILLA PARK PLANNING & ZONING
COMMISSION, held at the Villa Park Village Hall,
20 South Ardmore Avenue, Villa Park, Illinois,
commencing at 8:27 o'clock p.m., on Thursday, the
14th day of March, 2024.

APPEARANCES: MR. JASON JARRETT, Chairman
MR. DOMINICK ROMANO, Commissioner
MR. KENNETH JACKSON, Commissioner
MR. LARRY CALVERT, Commissioner
MR. JUSTIN SHLENSKY, Commissioner
MR. EDWARD HOFSTRA, Commissioner
MR. MICHAEL ORLOWSKI, Commissioner
MR. LOUIS LeMIEUX, Commissioner

ALSO PRESENT: MR. NICK CUZZONE, Villa Park President
MR. MARC McLAUGHLIN, Community Development
MS. PAT BOKSHA, Office Coordinator

REPORTED BY LYN DOERING, CSR.

1 CHAIRMAN JARRETT: Any items for
2 discussion?

3 MR. McLAUGHLIN: We will have a
4 meeting next month. We are going to be doing
5 notifications here shortly, on the 11th.

6 CHAIRMAN JARRETT: Okay. Any
7 Commissioner comments/questions?

8 COMMISSIONER ORLOWSKI: I have an
9 item I would like to talk about.

10 With some of the things that we have
11 done in the last 15 years, with the new business
12 on Villa Avenue, the Captain's Room, and the no
13 parking, I have done a lot of communication with
14 residents with questions.

15 So what I would like to do, because I
16 want to see more new business, I would actually
17 like to make a motion or something to the Village
18 staff to where we can look at removing any parking
19 restrictions to any of the other businesses within
20 those districts and get better development, more
21 development, and then get the Village to actually
22 come up with a parking garage so that we can
23 continue with new business.

24 CHAIRMAN JARRETT: So you would

1 like to see the Village remove any property -- any
2 property-specific restrictions on the parking on
3 the street; is that what you are saying? I don't
4 follow entirely.

5 COMMISSIONER JACKSON: Parking in
6 the businesses.

7 COMMISSIONER ORLOWSKI: No, as far
8 as the businesses have parking restrictions.

9 CHAIRMAN JARRETT: Oh.

10 COMMISSIONER ORLOWSKI: And if we
11 are going to allow a business to go in there and
12 have no parking requirements period, and just say,
13 Well, I am going to valet park all my cars, then
14 why would we have restrictions on a neighboring
15 business or a business across the street?

16 They tell them, You have to have a
17 parking plan, but he is going to valet.

18 So why don't we just remove all the
19 parking restrictions and then have the Village
20 somewhere along the line actually build a parking
21 garage, whatever you would like to call it, so
22 that none of the buildings are restrained, to the
23 point of, I can't do this because I don't have
24 enough parking.

1 CHAIRMAN JARRETT: I will let Marc
2 speak to this mostly but I know we are working on
3 a parking study.

4 COMMISSIONER ORLOWSKI: Correct.
5 And that's why I bring it up.

6 CHAIRMAN JARRETT: And something
7 that Ellen had mentioned that I know some villages
8 do which is a fee in lieu of parking.

9 I am not saying that's the answer but
10 there could be ways of dealing with that, short of
11 lifting all parking restrictions in the district.
12 We might need to revisit them.

13 COMMISSIONER ORLOWSKI: Right. The
14 Village is working on a parking plan and I think
15 this should be welcomed into the whole factor of
16 -- as far as the whole parking study in those
17 areas.

18 MR. McLAUGHLIN: Yes.

19 COMMISSIONER ORLOWSKI: But not
20 make it to where the business owners are
21 restrained by, Oh, you have to have 40 spots or 50
22 spots.

23 MR. McLAUGHLIN: Right.

24 COMMISSIONER ORLOWSKI: And make it

1 to where, like all the other towns, we have a
2 parking garage, and you walk from the parking
3 garage to the businesses. And I think we would
4 get more business and redevelopment into those
5 areas, if we could do that.

6 CHAIRMAN JARRETT: Fee in lieu of
7 parking is something that some municipalities have
8 done to -- basically if you don't want to supply
9 parking, you pay X amount of money into a fund
10 that pays to create parking in that district.

11 There are multiple ways to go about it.
12 That's one.

13 MR. McLAUGHLIN: Yeah.

14 So as Mike was talking about, the
15 Village is working with KLOA, the transportation
16 and parking firm, to do a parking study for the
17 Villa Avenue downtown area and then the Ardmore
18 Avenue downtown area. So we are doing two of
19 them.

20 Staff is in review of the final draft
21 document, not the final doc yet, but the final
22 draft document. So we have seen some of the
23 preliminary numbers, some of the preliminarily
24 recommendations and that kind of stuff.

1 And what it's showing -- this is the
2 Villa side right now specifically -- is that there
3 is enough parking stalls, actual spaces, in that
4 particular area.

5 It's just that certain ones are being
6 underutilized. And we are showing that they are
7 not being utilized because nobody knows where they
8 are. There is no signage, there's no direction,
9 there is no Public Parking This Way, there is no
10 digital map, there is no Google map that says, Oh,
11 public parking lot.

12 What we see is the couple of stalls on
13 Villa that are full because they are directly in
14 front of the other businesses. And unless you
15 know where to go, you don't know where to park.

16 A couple lots are full and they get
17 full, but then the museum lot, the lot across the
18 street next to -- across from Villa Park, empty.

19 And we did Saturdays and Thursdays. So
20 we did the prime times for the calculation,
21 similar to a traffic study. We did a parking
22 study.

23 So we are finding that some of the
24 recommendations are going to be, sign it, map it,

1 so that when people say, I want to go More Brewing
2 who don't live here, and they can also see the
3 parking lot is one block down, you actually enter
4 that parking lot in the GPS instead of More
5 Brewing.

6 And then again, followup is that with
7 the one particular business that's coming right
8 now, you can do a fee in lieu on new developments,
9 but we don't have new developments in there.

10 These are 100 year old structures where businesses
11 are trying to go in and out of, and the only way
12 for them to meet their parking requirements is to
13 start demolishing to make a literal parking lot.

14 So what we are working with is, how do
15 we meet some of the recommendations in these
16 parking studies to encourage businesses to come in
17 and out of here, knowing that there is enough
18 public parking to meet the demands.

19 CHAIRMAN JARRETT: Yeah.

20 And the fact that we have enough parking
21 there, despite what specific businesses might
22 feel --

23 MR. McLAUGHLIN: Right.

24 CHAIRMAN JARRETT: -- is something

1 I have always said and argued for, and that's why
2 finding the best way to deal with that is
3 important.

4 Because we have these MX Districts and
5 we have this historic context that we want to
6 preserve and the whole point of that is to
7 avoid -- without calling -- We don't want the
8 7-Eleven effect; right, where you have parking --

9 No specific 7-Eleven in Villa Park, but
10 where you have the convenient store set back, an
11 aisle row of parking from the street, because
12 that's the kind of development you have on Villa
13 or Ardmore because they felt they needed six
14 parking spots.

15 MR. McLAUGHLIN: That's what you
16 get.

17 And it jeopardizes design; by forcing
18 that number in there it does jeopardize your
19 design. It forces you to fit that parking on
20 there.

21 CHAIRMAN JARRETT: Yeah.

22 And I know that when we did the zoning
23 ordinance update we did stress that we wanted to
24 try to be less parking intensive, because that's

1 the way a lot of business districts are moving,
2 and you know, the parking requirements of 1960,
3 when it was park everything --

4 MR. McLAUGHLIN: Yeah.

5 CHAIRMAN JARRETT: -- curb to curb
6 are not really in municipalities' best interests
7 any more.

8 MR. McLAUGHLIN: Yeah, I agree.

9 So what we are probably going to see is
10 those two reports, there's basically twin reports,
11 get finalized, presentation to you guys from KLOA,
12 and then additionally a presentation on the
13 findings to the Village Board.

14 And then staff will be taking action
15 items based on those reports, which will end up
16 being most likely an additional zoning ordinance
17 text amendment regarding parking and potential
18 parking design as well.

19 CHAIRMAN JARRETT: Yeah.

20 And I am a firm believer that for your
21 downtown -- I don't care what your downtown model
22 is -- on a Saturday afternoon or Friday night, a
23 driver, a visitor to the area, should have to
24 circle once, maybe twice.

1 MR. McLAUGHLIN: Okay.

2 CHAIRMAN JARRETT: But be able to
3 find a parking spot.

4 MR. McLAUGHLIN: Yep.

5 CHAIRMAN JARRETT: Not park in
6 front of whatever business they want any time day
7 or night.

8 MR. McLAUGHLIN: Right.

9 CHAIRMAN JARRETT: I know business
10 owners would disagree with that.

11 As a planner that's --

12 MR. McLAUGHLIN: Yeah. And my
13 response to that is there is only one stall in
14 front of the business.

15 CHAIRMAN JARRETT: Right.

16 MR. McLAUGHLIN: Because it's a
17 street. It isn't a parking lot. I can't make
18 more parking on the street. It is what it is.

19 CHAIRMAN JARRETT: Some of those
20 businesses do have parking behind and they use it
21 for their employees.

22 MR. McLAUGHLIN: Or the apartment
23 above.

24 COMMISSIONER ROMANO: I am curious,

1 because of the nature where you work in Chicago,
2 how do they -- like Southport, those areas where
3 it's all business front and only street parking,
4 like what are the ordinances for those businesses?

5 I mean, is there a definition of like
6 the downtown street front businesses? They are
7 just not going to have lots.

8 CHAIRMAN JARRETT: In some zoning
9 districts there is almost no parking requirement.
10 For almost all use types there is a minimum square
11 footage before you trigger any parking
12 requirement.

13 Like as an example, even a branch bank
14 at 3800 square feet, you don't have to supply any
15 parking. Above 4,000 feet then the calculation --
16 4,000 square feet -- then the calculation kicks
17 in.

18 In Chicago specifically, a little over a
19 year ago they actually expanded what they already
20 had. It's not as big of a deal as here because we
21 don't have the kind of transit that they do.

22 But they have what are called transit
23 served locations, and within those, like there's
24 situations, certain development types, where you

1 can go to 100 percent parking reduction.

2 And it might require administrative
3 adjustment, but 50 percent as of right, and that's
4 within a certain range of various types of
5 transportation, specific bus lines, all train
6 stations.

7 About a year ago they ratcheted that up
8 even more, expanded the zoning districts you can
9 do it in. They doubled the radiuses of all the
10 transit.

11 So they went from a quarter mile of a
12 train station to a half mile of a train station.

13 They went from -- They went from I think
14 like 15 or 20 bus lines to basically every major
15 bus line.

16 MR. McLAUGHLIN: Yeah.

17 CHAIRMAN JARRETT: So there are a
18 lot of things that get done in the suburbs or that
19 were done in the old suburbs that -- that even in
20 the City of Chicago 30 years ago that they are
21 fighting now to reverse.

22 Like, I know I talked about it when we
23 were doing 27 West Park, but they continue to
24 shrink drive aisle width, because it slows

1 traffic, it's safer for pedestrians.

2 When you have curb cuts on the sidewalk
3 it's less of a negative impact, just on your sense
4 of being on the street. Like they want one-way
5 curbs, one-way traffic at like -- one way curb
6 cuts like 12 to 14 feet on the street.

7 Two way drive aisles are 22 feet,
8 sometimes 20, depending on the parking.

9 And they continue to squeeze those
10 because they have recognized the need for green
11 space and the need to just generally slow traffic
12 and create more pedestrian-friendly environments,
13 even in parking lots which aren't traditionally
14 very pedestrian friendly, but if you can green
15 them up and slow cars, they are not terrible.

16 I am not saying all those things will
17 reach the suburbs, but those are the kind of
18 things they have done to -- you think of Chicago
19 as being the city, and it is, but in the
20 nineties -- late eighties, early nineties and in
21 the early 2000s they were starting to get a lot of
22 big Targets and giant shopping centers, and even
23 just horrible mid-1980 strip malls, the kind we
24 don't like here either.

1 And now in 2024, 40 years removed from
2 that, 30 years removed, they are fighting to
3 reverse all of that, the Jewel parking lot effect.

4 MR. McLAUGHLIN: Yeah.

5 Just to add on to that, we have a built
6 environment, completely viable, good business
7 storefronts, with a parking requirement makes it
8 difficult to keep those going.

9 So that's why the last couple that have
10 come in have been all under a nonconforming
11 parking status, only when building something new
12 did they have to apply for that variation for the
13 reduction, but the existing ones can move in and
14 out, even though it's all under the guise of
15 nonconforming.

16 But in general what we are talking about
17 is eliminating parking minimums. That's what the
18 phrase is. If you look up the planning people's
19 parking minimums, eliminating parking minimums.

20 Champaign has done it as well for their
21 downtown area.

22 CHAIRMAN JARRETT: It's been my
23 experience that any savvy business model, your
24 national chains, your regional chains even, they

1 know what their parking requirement is.

2 MR. McLAUGHLIN: Yep.

3 CHAIRMAN JARRETT: And you might
4 say the minimum is 10, but if they need 12, they
5 are going to give you 12.

6 MR. McLAUGHLIN: Uh huh.

7 CHAIRMAN JARRETT: And if they
8 might need that overflow -- I have a client with
9 the city who wants to provide less parking and
10 they refuse. They don't have to. As of right
11 they can provide up to what they are providing.

12 But the city is like, We would like to
13 see you provide less parking because you are
14 providing more than we think you need.

15 And they are like, No, we need all of
16 this.

17 MR. McLAUGHLIN: Corporate says, I
18 need this, otherwise I can't build it.

19 CHAIRMAN JARRETT: Yes.

20 MR. McLAUGHLIN: I understand that
21 as well.

22 COMMISSIONER SHLENSKY: I am still
23 intrigued by the concept of the fee in lieu and I
24 think that's worth exploring.

1 MR. McLAUGHLIN: Sure, on a new
2 build.

3 COMMISSIONER SHLENSKY: Yes.

4 MR. McLAUGHLIN: Absolutely.

5 It would be weird to have to charge a
6 fee every time you get a new CO for the same
7 address number.

8 But yes, new build ground up, yeah,
9 that's definitely something we can look at and may
10 actually end up being a recommendation in the
11 report.

12 COMMISSIONER ORLOWSKI: I welcome
13 to see the report.

14 MR. McLAUGHLIN: Yes, wrapping it
15 up. The final draft is on my desk now for
16 Ardmore.

17 COMMISSIONER ORLOWSKI: Can we
18 include Central and Park into that too eventually?

19 MR. McLAUGHLIN: The parking on
20 Central and Park that is a part of those notes is
21 included, yes.

22 It's not just Villa. It's the Villa
23 corridor area; Ardmore, Park, Central, up to the
24 library down to Highland.

1 COMMISSIONER SHLENSKY: Okay.

2 CHAIRMAN JARRETT: Anything else?

3 COMMISSIONER SHLENSKY: Any updates
4 from prior applications that may or may not have
5 been approved by the Village Board that are large
6 projects, like Eco Terra, Park, 27 West, any
7 updates?

8 MR. McLAUGHLIN: Sure.

9 Both Knollcrest and 27 West Park, which
10 is now known as Ardmore Flats, are both in for
11 permit review. So they are moving forward.

12 COMMISSIONER SHLENSKY: Within the
13 confines of the variation that had previously been
14 approved?

15 MR. McLAUGHLIN: Yes. Correct.
16 They are working within the rules they have been
17 delivered.

18 The Village has officially issued a
19 notice of default to the developer for Eco Terra,
20 so that is out there, and they are now on the
21 clock for cure.

22 COMMISSIONER SHLENSKY: Then the
23 Union?

24 CHAIRMAN JARRETT: They got an

1 extension to their letter of intent.

2 MR. McLAUGHLIN: Correct.

3 And then they have formal submittal in
4 our review right now. They are on -- They are
5 slated, not notified yet, but slated for the April
6 11 Planning and Zoning for their new ask, which is
7 the seven story original concept plan height.

8 COMMISSIONER SHLENSKY: Okay.

9 MR. McLAUGHLIN: A couple tweaks on
10 the design, after we reviewed it, that we are
11 looking at doing.

12 We have an associate at Performa, an RDA
13 we are doing on the side. It's not part of you
14 guys, but it's all a cohesive project that will
15 eventually go to Village Board.

16 CHAIRMAN JARRETT: I will say that
17 I am glad for the mild winter we have and the
18 speed with which our two park projects are
19 advancing.

20 MR. McLAUGHLIN: Yes.

21 CHAIRMAN JARRETT: Anything else?

22 (No response.)

23 CHAIRMAN JARRETT: I move that we
24 adjourn.

1 Is there a second?

2 COMMISSIONER ORLOWSKI: Second.

3 CHAIRMAN JARRETT: All in favor?

4 ALL PRESENT: Aye.

5 CHAIRMAN JARRETT: We are
6 adjourned.

7 (Proceedings adjourned at
8 8:49 p.m.)

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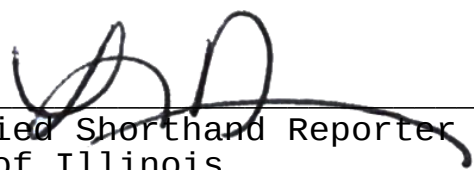
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1 I, LYN DOERING, Certified Shorthand
2 Reporter and Notary Public in and for the State of
3 Illinois do hereby certify that the foregoing
4 proceedings were reported stenographically by me,
5 was thereafter reduced to a printed transcript by
6 me, and constitutes a true record of the testimony
7 given and the proceedings had;

8 That I am not a relative or employee or
9 attorney or counsel, nor a relative or employee of
10 such attorney or counsel for any of the parties
11 hereto, nor interested directly or indirectly in
12 the outcome of this action.

13 IN WITNESS WHEREOF, I do hereunto set my
14 verified digital signature at Chicago, Illinois,
15 this 5th day of April, 2024.

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Certified Shorthand Reporter
State of Illinois
CSR License No. 084-003037

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Village of Villa Park

Community & Economic Development

11 W Home Avenue, Villa Park, IL 60181

TO: Planning & Zoning Commission
FROM: Community & Economic Development Department
DATE: April 11, 2024
RE: **Petition PZ-24-04 / 806 S Michigan Ave / Variation**

Petitioner: Scott and Renee Blondin
806 S Michigan Ave
Villa Park, IL 60181

Owner: Scott and Renee Blondin
806 S Michigan Ave
Villa Park, IL 60181

Request Summary

The Petitioner is requesting a Public Hearing to consider approval of a Variation to allow the encroachment of A deck into the minimum 15' required corner side yard setback by 5.5'.

Site Information

Present Zoning: Residential Single-Dwelling District - 7,500 Sq. Ft. (RS-7.5)
Present Land Use: Single Dwelling Residential
Property Size: 0.17 acres
PINs: 06-16-201-048

Surrounding Zoning

North: Residential Single-Dwelling District - 7,500 Sq. Ft. (RS-7.5)
West: Residential Single-Dwelling District - 7,500 Sq. Ft. (RS-7.5)
East: Residential Single-Dwelling District - 7,500 Sq. Ft. (RS-7.5)
South: Residential Single-Dwelling District - 7,500 Sq. Ft. (RS-7.5)

Surrounding Land Use

Single Dwelling Residential
Single Dwelling Residential
Single Dwelling Residential
Single Dwelling Residential

Comprehensive Plan Designation – Single-Family Residential

This land use category is intended for detached single family residential dwellings of generally one to two stories in height. This classification encompasses most of the Village's established residential neighborhoods.

Zoning Request

The Subject Property is a corner lot with nonconforming interior side and rear yard setbacks. The required interior side yard setback is 6' and the actual setback is 5.18' per Exhibit A. The required rear yard setback is 40' and the actual setback is 21.95'. There is currently an existing deck in the corner side yard, which is nonconforming, that needs repair. The Petitioner is requesting a Variation to allow the deck to encroach into the minimum 15' required corner side yard setback by 5.5'. The deck will be setback from the property line by 9.69'. The size of the deck will be 12' x 23'.

Internal Staff Review

The Zoning Ordinance also specifically allows for Variation petitions in order to grant relief to a property owner from strict compliance with the regulations of the Zoning Ordinance. Variations are intended to help alleviate a practical difficulty or particular hardship that would be caused by the literal enforcement of the subject

ordinance requirements and are site specific. Although there is an existing deck in this location that was permitted in 1998 by Permit #585-98, Section 13.4.5. – Loss of Nonconforming Status states that if the deck is fully demolished, it may not be reestablished except in compliance with all regulations applicable to the zoning district in which it is located.

The reduced setbacks and the location of the house restrict the ability to construct a deck in the side or rear yards, where one is allowed by right. The proposed size of the deck is only 1’ wider than the existing deck for ease of constructability.

The Variation request is not to reduce the corner side yard setback, but to allow the encroachment of the proposed deck into the minimum required setback. The request meets the intent of the code.

Findings

Per Sec. 11.5.6.8. The Planning and Zoning Commission's recommendation must be accompanied by specific findings of fact regarding whether practical difficulties or particular hardships would result if a Variation is not granted. The Petitioner has submitted the following justification for a Variation from Article 2, Section 2.3, Table 2-3 of the Zoning Ordinance:

1. State the particular hardship and/or practical difficulty created for you in carrying out the strict letter of the zoning regulations to wit:

Petitioner’s Response: *The deck was built in the fall of 1998. Due to the size of our lot and where our house was built on our lot, we cannot build it anywhere else. It is currently off of our front porch, on the Michigan Ave side of our house.*

2. A reasonable return or use of your property is not possible under the existing regulations because:

Petitioner’s Response: *There is no other place on our property due to where our house exists to build a deck.*

3. Your situation is unique (not applicable in other properties in the area or zoning classification) in the following respect:

Petitioner’s Response: *We want to replace our existing deck. Due to the change in the code for the Village, our deck would have to be drastically scaled back instead of 11’ width that it is now.*

4. The Variation will not alter the essential character of the locality, impair an adequate supply of light and air to adjacent property; not increase hazard from fire; not impair property values in the neighborhood; not unduly increase congestion in the streets, or otherwise impair public safety; health and convenience because:

Petitioner’s Response: *We are rebuilding our deck where it has been since 1998.*

Notification

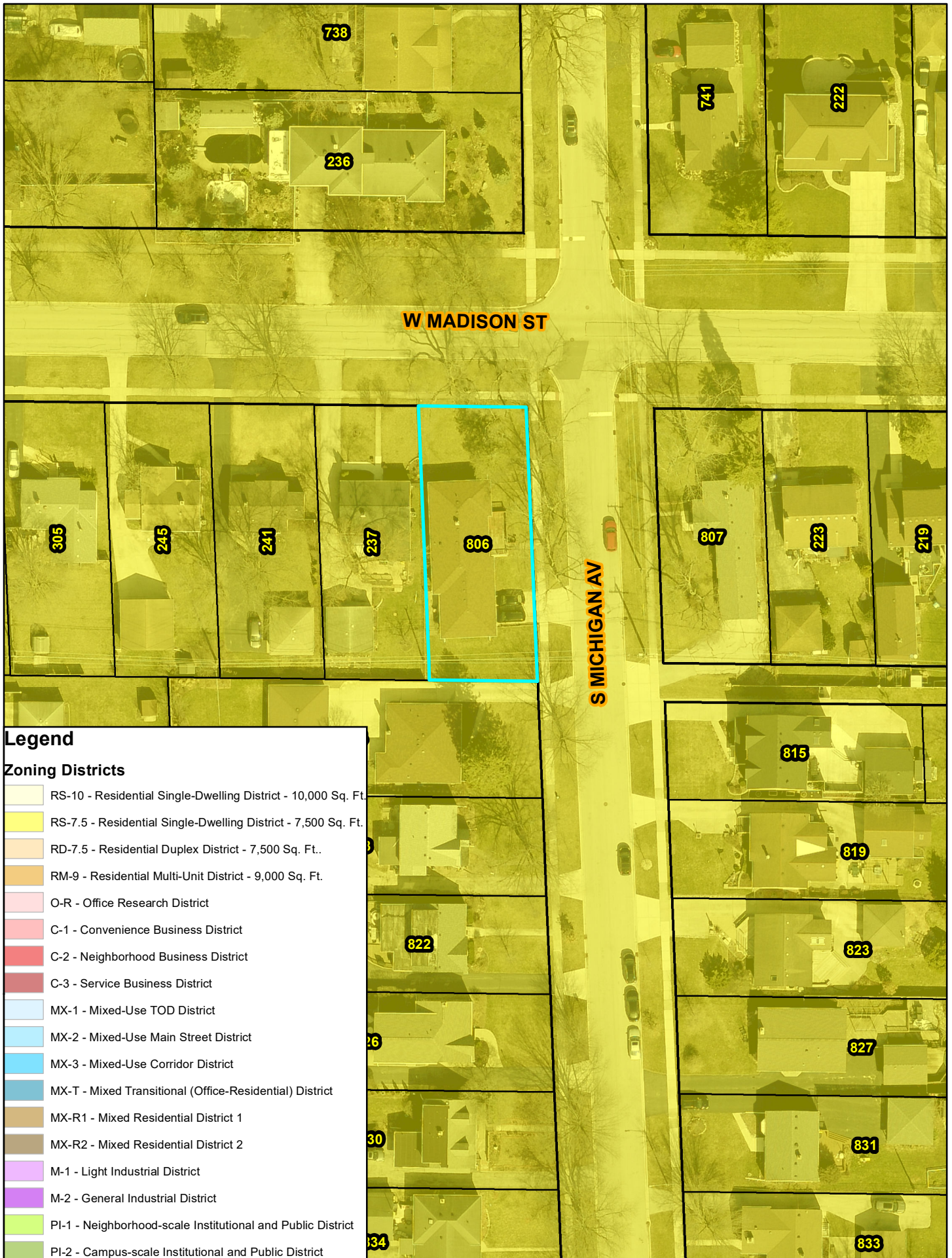
Legal Notice was published in the Daily Herald on March 26, 2024 in advance of the Public Hearing.

Staff Recommendation

Village staff has reviewed the petition and is supportive of the request.

Recommended Action

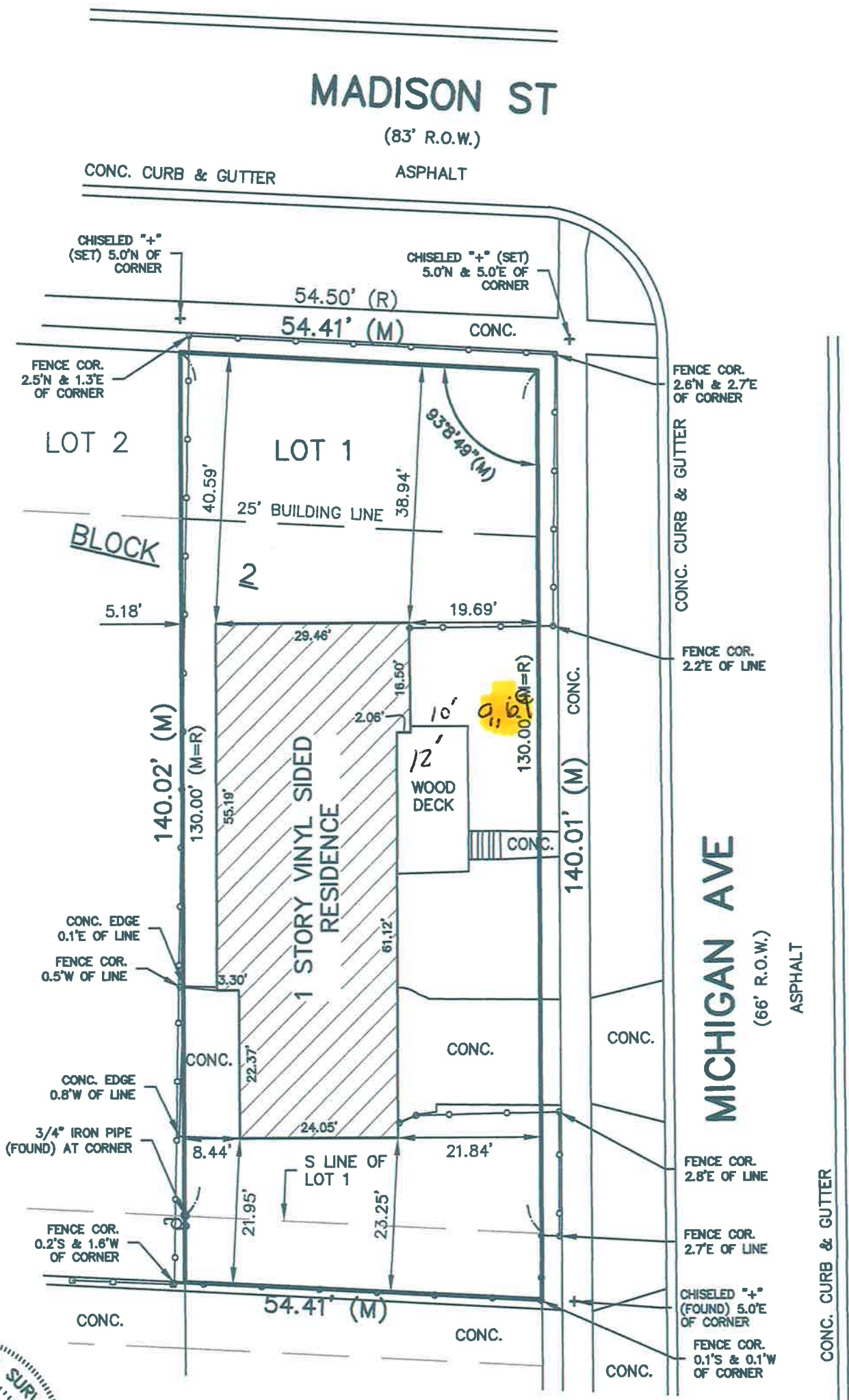
To recommend approval of PZ-24-04 for a Variation from Section 14.1.9. to allow the deck to encroach into the minimum 15’ required corner side yard setback by 5.5’.



PLAT OF SURVEY

LOT 1 IN BLOCK 2 TOGETHER WITH THE NORTH HALF OF THE VACATED ALLEY LYING SOUTH OF AND ADJOINING LOT 1 IN SHIVELY VILLA, A SUBDIVISION OF LOT 2 OF SCHOOL TRUSTEE'S SUBDIVISION OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 2, 1928 AS DOCUMENT 256910, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 806 SOUTH MICHIGAN AVENUE, VILLA PARK
PIN: 06-16-201-048
AREA: 0.17 ACRES



SYMBOL LEGEND	
⊕	UTILITY POLE
•	MONUMENTATION
+	CHISELED CROSS

LINE LEGEND	
—○—○—○—	= CHAINLINK FENCE
—□—□—□—	= WOOD FENCE



STATE OF ILLINOIS } S.S.
COUNTY OF MCHENRY }
THIS IS TO CERTIFY THAT I, AN ILLINOIS LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE AND THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY. FIELD WORK COMPLETION DATE: 01/25/2024.
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
GIVEN UNDER MY HAND AND SEAL AT LAKE IN THE HILLS, ILLINOIS, THIS 29TH. DAY OF JANUARY, A.D., 2024.
ILLINOIS LAND SURVEYOR NO. 3251; LICENSE EXPIRES 11/30/24
ILLINOIS DESIGN FIRM NO. 184-007260

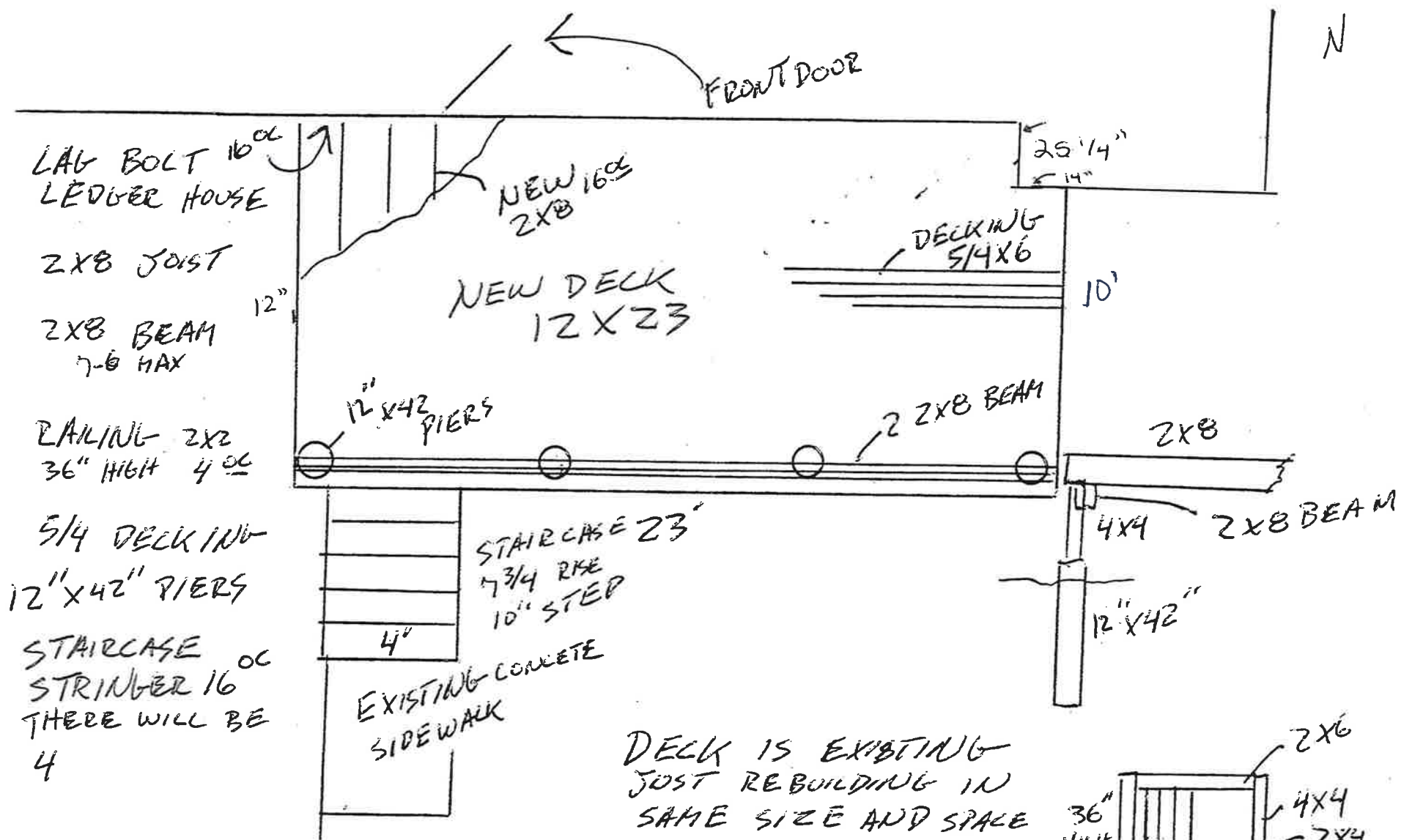
ORDERED BY: RENEE AND SCOTT BLONDIN FILE NO. 240040



POLENA ENGINEERING LLC

WHEATON: 630-653-6331
LAKE IN THE HILLS: 815-363-9200
INFO@POLENA.COM
WWW.POLENA.COM

ILLINOIS PROFESSIONAL DESIGN FIRM No. 184-007260



DECK IS EXISTING
JUST REBUILDING IN
SAME SIZE AND SPACE

806 S MICHIGAN AVE



Village of Villa Park

Community & Economic Development

11 W Home Avenue, Villa Park, IL 60181

TO: Planning & Zoning Commission
FROM: Community & Economic Development Department
DATE: April 11, 2024
RE: **Petition PZ-24-07 / 626 N Addison Rd / Special Use**

Petitioner: Barry San
626 N Addison Rd
Villa Park, IL 60181

Owner: Mansoor Virani, Armbil Inc
638 N Addison Rd
Villa Park, IL 60181

Request Summary

The Petitioner is requesting a Public Hearing to consider approval of a Special Use for Body Art Service.

Site Information

Present Zoning: Convenience Business District (C-1)
Present Land Use: Commercial
Property Size: 1.00 acres
PINs: 06-04-118-028

Surrounding Zoning

North: Neighborhood Business District (C-2) & Residential Single-Dwelling District - 7,500 Sq. Ft. (RS-7.5)
West: Residential Single-Dwelling District - 7,500 Sq. Ft. (RS-7.5)
East: Light Industrial District (M-1)
South: Residential Single-Dwelling District - 7,500 Sq. Ft. (RS-7.5)

Surrounding Land Use

Commercial & Single Dwelling Residential
Single Dwelling Residential
Industrial
Single Dwelling Residential

Comprehensive Plan Designation – Business District Mixed Use

This land use category is intended for a mixture of multi-family residential, business district commercial and institutional uses in a relatively compact, pedestrian-oriented activity node. This classification encompasses the Village's business districts.

Zoning Request

The Subject Property is requesting approval of a Special Use for Body Art Service to operate a tattoo business.

Internal Staff Review

The Zoning Ordinance specifically allows for the right to request a Special Use per Sec. 11.4. Per Table 6-1: Use Table. While the requested use is not allowed by right in this district, it may be allowed only if reviewed and approved in accordance with the Special Use procedures which require case-by-case review in order to determine whether they will be compatible with surrounding uses and development patterns. Per Section 6.4.4. – Commercial Service, the Body Art Service use category is defined as, “tattoo and body piercing establishments (as defined in 410 ILCS 54/1). Tattoo and body piercing establishments must be licensed in accordance with Chapter 13, Article X of the village code of ordinances.”

As shown on Exhibit A, to Subject Property is in a shopping center with various uses and there is an existing shared parking lot with sufficient parking for this business.

Findings

Per Section 11.4.8. – Review and Approval Criteria: No Special Use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed Special Use is consistent with and in substantial compliance with all village board policies and plans and that the applicant has presented evidence to support each of the following conclusions for both Special Uses that they are requesting:

- A. That the proposed use or activity is expressly authorized as a Special Use;
Petitioner's Response: *Per the use chart this use is listed as a special use.*
- B. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;
Petitioner's Response: *Location is convenient for customers. There is adequate parking.*
- C. That the proposed use will not, in the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.
Petitioner's Response: *The Health Dept inspects the business annually. The tenant takes great pride in keeping a clean, safe environment for his customers. Tattoo businesses help to promote the individuality and personality of their customers, therefore it will have a positive impact on the area and community. His clients come from the entire Chicago area and other states (including Hawaii) and even other countries.*
- D. That approval of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
Petitioner's Response: *There currently is not another tattoo business in this strip center, therefore we are not competing against another business, but bringing in new customers to the entire strip center. Our customers and employees will bring additional business to the other tenants in the strip center, especially the 7-Eleven and the chiropractor.*
- E. That the proposed special use will be served by adequate utilities, access roads, parking, drainage and other important and necessary facilities, infrastructure, and community services; and
Petitioner's Response: *The convenience to North Avenue and other main streets will make it easy for clients to locate the business. There is plenty of parking for this businesses clients as well as the other tenants' customers.*
- F. That the proposed special use complies with all applicable regulations of this zoning ordinance except as expressly approved in accordance with the procedures of this zoning ordinance.
Petitioner's Response: *The tattoo business services will be conducted under the existing rules and regulations for this special use.*

Notification:

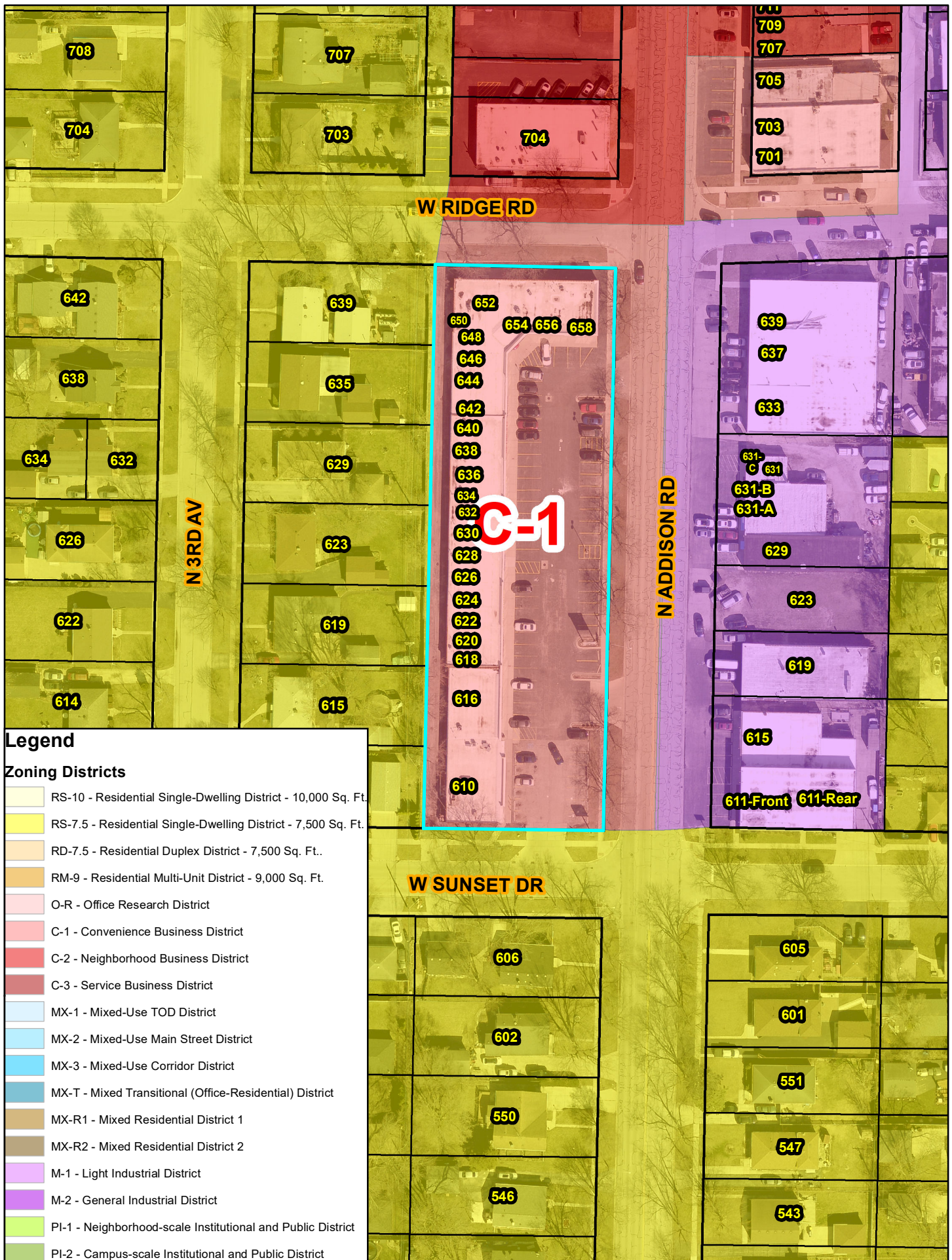
Legal Notice was published in the Daily Herald on March 26, 2024 in advance of the Public Hearing.

Staff Recommendation:

Village staff has reviewed the petition and is supportive of the request.

Recommended Action:

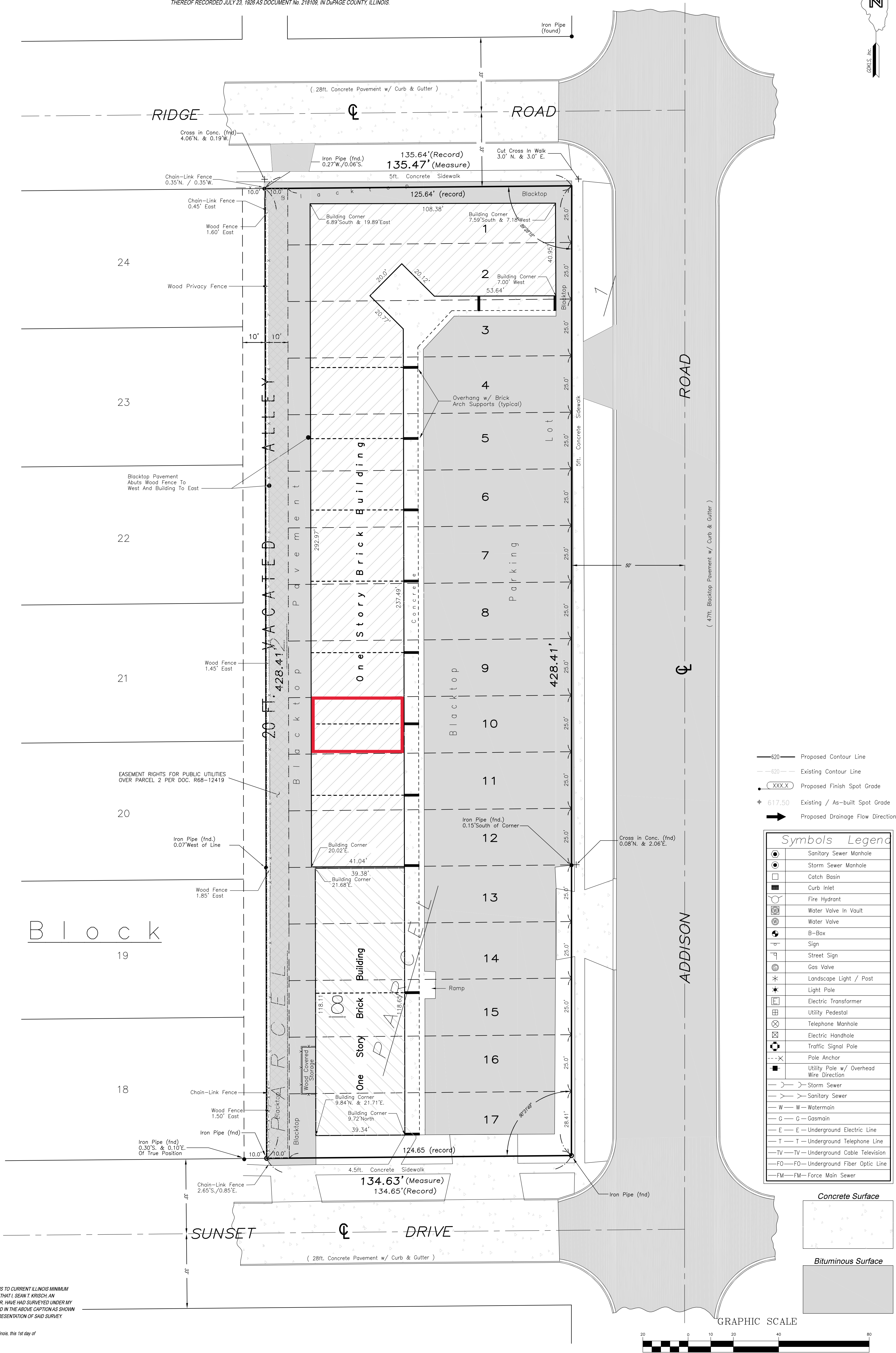
To recommend approval of PZ-24-07 for a Special Use for Body Art Service at 626 N Addison Rd.



PLAT OF SURVEY

PARCEL 1:
LOTS 1 TO 17, BOTH INCLUSIVE, IN BLOCK 8 IN FIRST ADDITION TO NORTH AVENUE TERRACE, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 23, 1928 AS DOCUMENT No. 218109, IN DUPage COUNTY, ILLINOIS.

PARCEL 2:
THAT PART OF THE EAST HALF OF THE VACATED ALLEY WEST OF AND ADJACENT TO SAID LOTS 1 TO 17, BOTH INCLUSIVE, IN BLOCK 8 IN FIRST ADDITION TO NORTH AVENUE TERRACE, BEING A SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 23, 1928 AS DOCUMENT No. 218109, IN DUPage COUNTY, ILLINOIS.



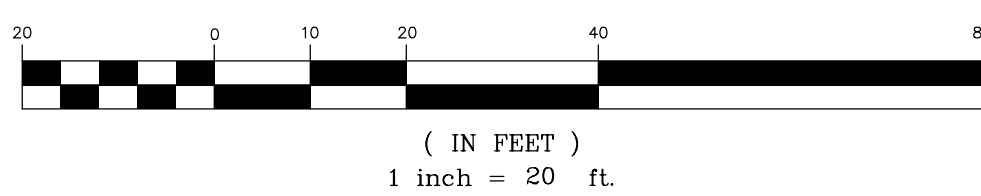
- 620 — Proposed Contour Line
620 — Existing Contour Line
XXX.X — Proposed Finish Spot Grade
+ 617.50 — Existing / As-built Spot Grade
➔ — Proposed Drainage Flow Direction

Symbols Legend	
	Sanitary Sewer Manhole
	Storm Sewer Manhole
	Catch Basin
	Curb Inlet
	Fire Hydrant
	Water Valve In Vault
	Water Valve
	B-Box
	Sign
	Street Sign
	Gas Valve
	Landscape Light / Post
	Light Pole
	Electric Transformer
	Utility Pedestal
	Telephone Manhole
	Electric Handhole
	Traffic Signal Pole
	Pole Anchor
	Utility Pole w/ Overhead Wire Direction
	Storm Sewer
	Sanitary Sewer
	W — W — Watermain
	G — G — Gasmain
	E — E — Underground Electric Line
	T — T — Underground Telephone Line
	TV — TV — Underground Cable Television
	FO — FO — Underground Fiber Optic Line
	FM — FM — Force Main Sewer

Concrete Surface

Bituminous Surface

GRAPHIC SCALE



State of Illinois } S.S.
County of DuPage }

THIS PROFESSIONAL SERVICE CONFORMS TO CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY THAT I, SEAN T. KRISCH, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE HAD SURVEYED UNDER MY SUPERVISION THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AS SHOWN BY THE ANNEXED PLAT WHICH IS A REPRESENTATION OF SAID SURVEY.

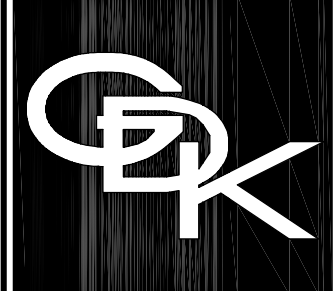
Given under my hand and seal at Lombard, Illinois, this 1st day of March A.D. 2007.

Sean T. Krisch
Illinois Professional Land Surveyor No. 35-3082
My License Expires November 30, 2008.

- Refer to deed or guarantee policy for building line restrictions and easements not shown on plat of survey.
- Compare description and points before building and report any apparent difference to the surveyor at once.
- This survey and plat of survey are void without our embossed surveyor seal shown hereon.
- No dimensions are to be assumed by scaling.

Prepared For:

JAMES HELMS, ATTY.



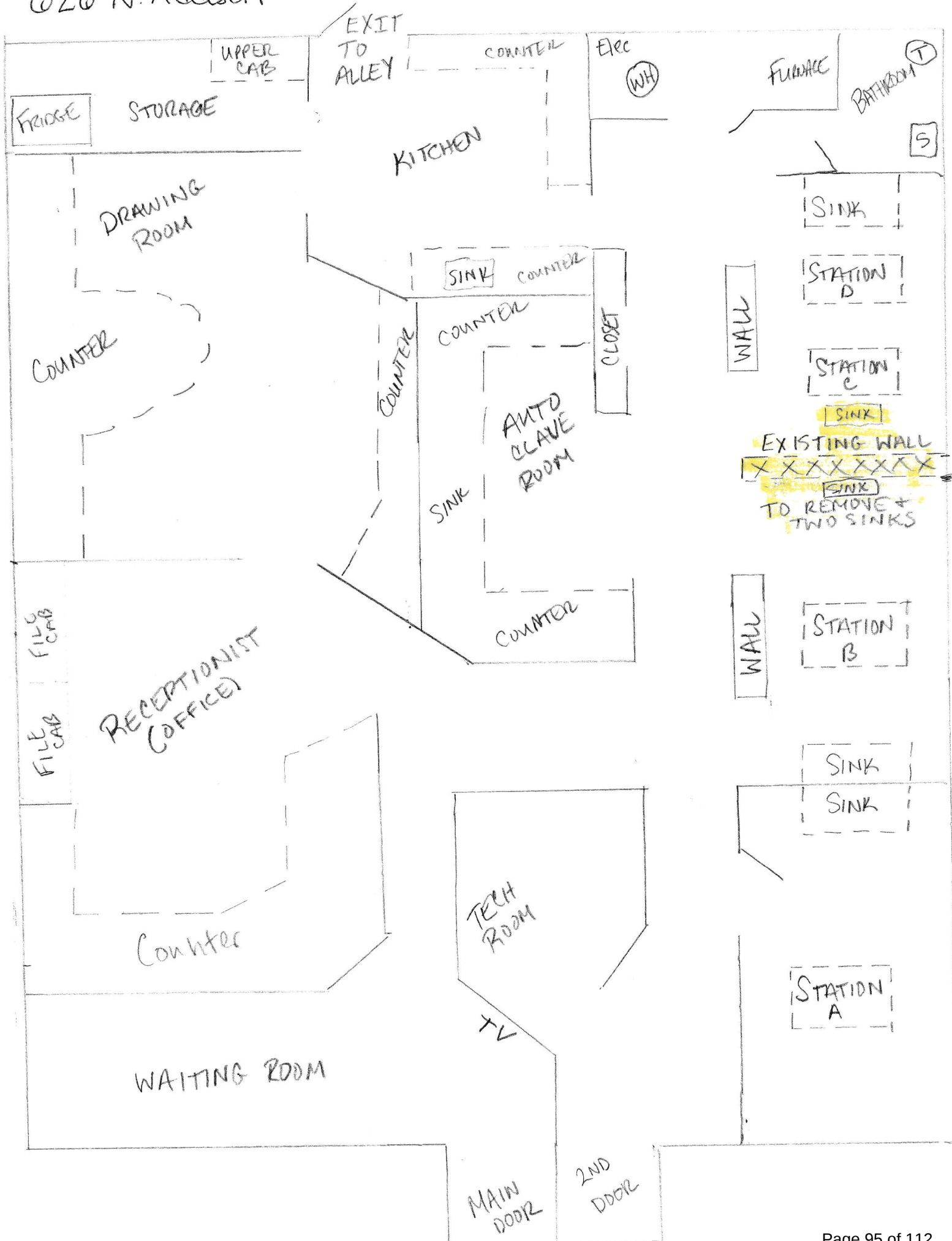
No.	Date	Revision Description	By:
3)	03.01.2007	Update Survey	STK
2)	01.12.1998	Add Lots 13-17 To Survey	STK
1)	12.23.1997	Original Date Of Survey	STK

GLEN D. KRISCH LAND SURVEYOR, Inc.			
PROFESSIONAL DESIGN FIRM LICENSE No. 184-004233			
1716 South Finley Road • Lombard, IL. 60148 • Phone: 630.627.5589			
Fax: 630.627.5594			
SURVEYING — CONSULTING — CONSTRUCTION LAYOUT			
Scale: 1"=20'	Drawn: STK	Chk'd: STK	GDK File# 97147
CAD File: 97147-2007.dwg			

GDK PLAT FILE No: 97147

GDK PLAT FILE No: 97147

626 N. Addison





Village of Villa Park

Community & Economic Development

11 W Home Avenue, Villa Park, IL 60181

TO: Planning & Zoning Commission
FROM: Community & Economic Development Department
DATE: April 11, 2024
RE: **Petition PZ-24-01 / 100 S Villa Ave / Special Use, Zoning Map Amendment, and Plat of Subdivision**

Petitioner: David G. Lyon
833 E Michigan Ave, Suite 1000
Milwaukee, WI 53202

Owner: Village of Villa Park
20 S Ardmore Ave
Villa Park, IL 60181

Request Summary:

The Petitioner is requesting a Public Hearing to consider a request for a Special Use for Planned Unit Development, a Zoning Map Amendment, and approval of a Plat of Subdivision with Vacation of public right-of-way.

Site Information

Present Zoning: Mixed Transitional District (MX-T) & Mixed Residential District 2 (MX-R2)
Present Land Use: Vacant
Property Size: 1.95 acres
PINs: 06-10-106-001, 06-10-106-002, & 06-10-106-004

Surrounding Zoning

North: Mixed Transitional District (MX-T), Residential Single-Dwelling District - 7,500 sq. ft. (RS-7.5), & Mixed-Use Main Street District (MX-2)
West: Residential Single-Dwelling District - 7,500 sq. ft. (RS-7.5)
East: Mixed Transitional District (MX-T),
South: Mixed-Use Main Street District (MX-2)

Surrounding Land Use

Commercial & Institutional

Parks & Open Space
Multi- Dwelling Residential
Parks & Open Space & Commercial

Comprehensive Plan Designation – Business District Mixed Use

This land use category is intended for a mixture of multi-family residential, business district commercial, and institutional uses in a relatively compact, pedestrian-oriented activity node. This classification encompasses the Village's business districts.

Plat Request

The Petitioner is requesting approval of a Plat of Subdivision to vacate a portion of public right-of-way that is currently part of the parking lot on the southwest corner of the Subject Property and to consolidate 10 lots and 2 parcels. See Exhibit B.

Zoning Request

The Subject Property is made up of a vacant lot, a vacant commercial building, and a portion of unvacated public right-of-way. The Petitioner is proposing to construct a 7-story mixed-use building with a zero-lot line setback to include approximately 224 rental residential units, residential rooftop amenity space, 8,000 square feet of commercial space, and a parking structure containing 312 residential parking stalls and 94 stalls for public use. The Petitioner is requesting approval of a Special Use for a Planned Unit Development to allow the construction of the building. In addition to the Special Use, the Petitioner is requesting approval of a Zoning Map Amendment to rezone the property from Mixed Transitional District (MX-T) & Mixed Residential District 2 (MX-R2) to Mixed-Use Main Street District (MX-2).

Internal Staff Review

The Zoning Ordinance specifically allows for a right to request a Special Use for a Planned Unit Development in all zoning districts per Table 6-1: Use Table. Planned Unit Developments are a complex type of Special Use that may consist of various land uses and design elements, requiring the establishment of more specific procedures, standards, and exceptions from the strict application of the zoning district regulations. The complexity and size of this project is in line with the intent of a Planned Unit Developments per the Zoning Ordinance. See Exhibit C for the full site plan with certain deviations.

The Zoning Ordinance specifically allows for the right to request a Zoning Map Amendment per Section 11.2. The Petitioner's request would remove a previous zoning error that had two zoning districts on one parcel and ensure the newly consolidated lot is all one zoning district. Properties to the north and south of the Subject Property are also zoned MX-2. The MX-2 district is intended to accommodate lower-scale mixed-use buildings in the neighborhood mixed-use nodes. The building form establishes an essentially continuous street wall of storefront facades along the sidewalk of primary streets, and focuses pedestrian-friendly retail, office and service uses on the ground story along primary streets with residential and/or office uses elsewhere. Parking is intended to be internal to the building or located in the rear of the lot, screened from the primary street with the building. The request meets the intent of the code.

The proposed development of this mixed-use building has brought up issues with the existing conditions of the Subject Property. Multiple zoning districts and multiple lots or parcels in one zoning lot is not common practice. Regardless of whether the project continues or not, the Plat of Subdivision and the Zoning Map Amendment are necessary to clean up the property.

Factors

Per Section 11.2.9. – Review and Approval Criteria: The decision to amend the Zoning Map is a matter of legislative discretion that is not controlled by any single standard. In making recommendations and decisions about Zoning Map Amendments, the Planning and Zoning Commission and Village Board must consider at least the following factors:

1. The existing use and zoning of nearby property;
2. The extent to which the particular zoning restrictions affect property values;
3. The extent to which any diminution in property value is offset by an increase in the public health, safety and welfare;
4. The suitability of the subject property for the zoned purposes;
5. The length of time that the subject property has been vacant as zoned, considering the context of land development in the vicinity;
6. The value to the community of the proposed use; and
7. The comprehensive plan.

Findings

Per Section 11.4.8. – Review and Approval Criteria: No Special Use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed Special Use is consistent with and in substantial compliance with all village board policies and plans and that the applicant has presented evidence to support each of the following conclusions for both Special Uses that they are requesting:

- A. That the proposed use or activity is expressly authorized as a special use;
Petitioner's Response: *Refer to summary of zoning request.*
- B. That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;
Petitioner's Response: *Refer to summary of zoning request.*
- C. That the proposed use will not, in the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.
Petitioner's Response: *Refer to summary of zoning request below.*
- D. That approval of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
Petitioner's Response: *Refer to summary of zoning request below.*
- E. That the proposed special use will be served by adequate utilities, access roads, parking, drainage and other important and necessary facilities, infrastructure, and community services; and
Petitioner's Response: *Refer to summary of zoning request below.*
- F. That the proposed special use complies with all applicable regulations of this zoning ordinance except as expressly approved in accordance with the procedures of this zoning ordinance.
Petitioner's Response: *Refer to summary of zoning request below.*

Petitioner's Summary of Zoning Request: *Special Use for a Planned Unit Development (PUD) to construct a 7-story mixed-use building with a zero-lot line setback to include approximately 224 rental residential units, residential rooftop amenity space, 7,500 square feet of commercial space, and a parking structure containing 312 parking stalls for the building tenants and 94 stalls for public use.*

Notification:

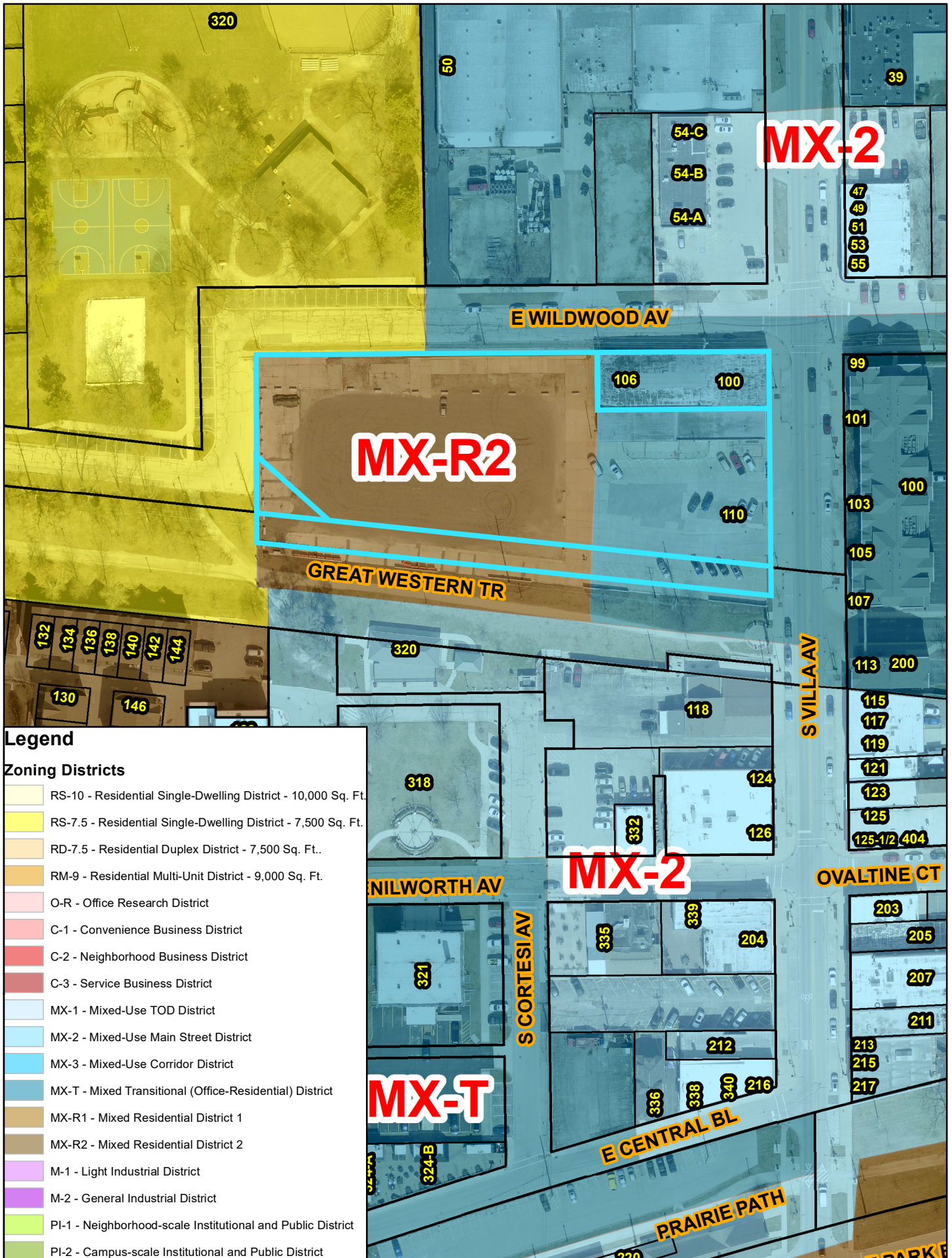
Legal Notice was published in the Daily Herald on March 26, 2024 in advance of the Public Hearing.

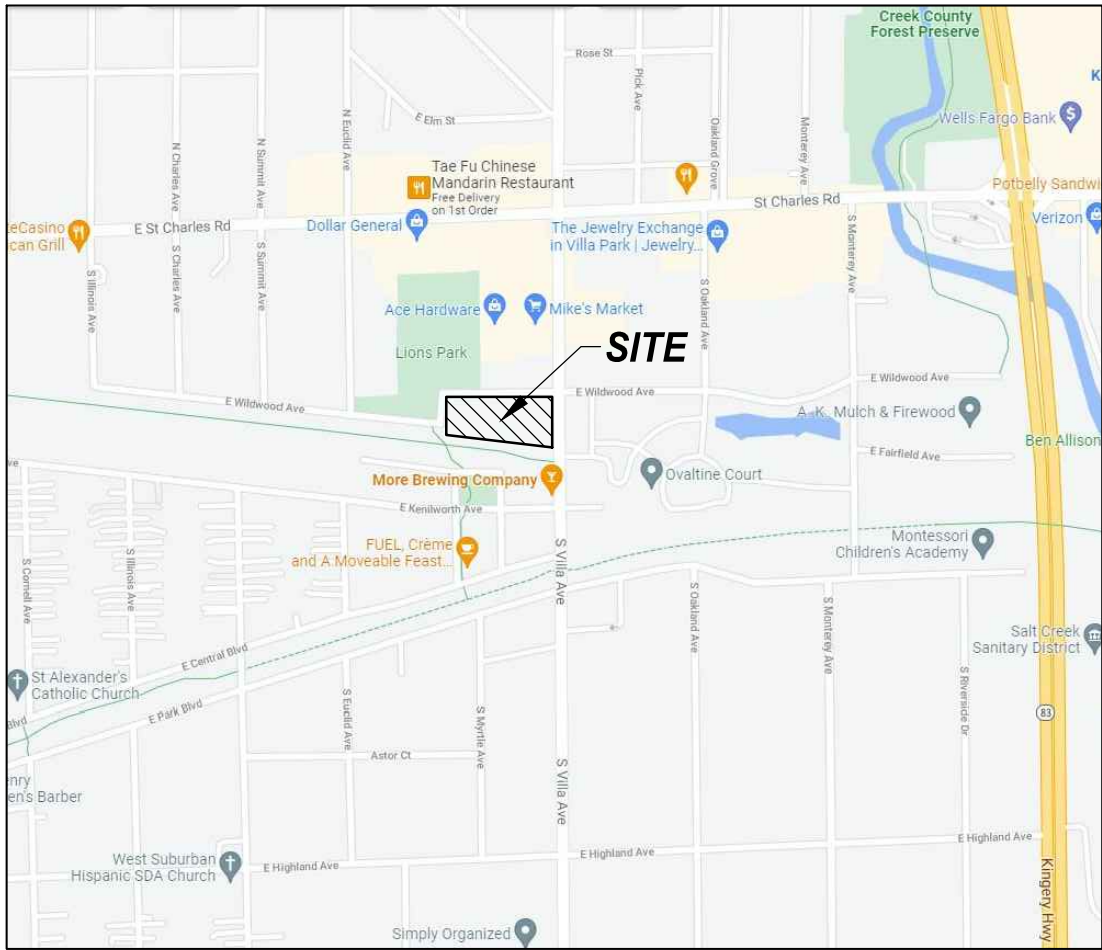
Staff Recommendation:

Village staff has reviewed the petition and is supportive of the request.

Recommended Action:

To recommend approval of PZ-24-01 for a Special Use for a Planned Unit Development per Exhibit C, a Zoning Map Amendment from Mixed Transitional District (MX-T) & Mixed Residential District 2 (MX-R2) to Mixed-Use Main Street District (MX-2), and a Final Plat of Subdivision with Vacation of public right-of-way per Exhibit B for the project commonly known as The Union.





VICINITY MAP
NOT TO SCALE

AREA

84,977 SQ. FT.
1.9508 ACRES

FINAL PLAT OF SUBDIVISION
OF
THE UNION

PART OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 39 NORTH, RANGE
11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF DUPAGE } SS

THIS PLAT WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS,
ON THE ____ DAY OF _____, A.D., 20____ AT ____ O'CLOCK __M. AS

DOCUMENT NUMBER _____

COUNTY RECORDER _____

STATE PLANE MERIDIAN

GRAPHIC SCALE



BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE
1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT
LATITUDE 41° 53' 14.807111" N
LONGITUDE 87° 58' 14.14847" W
ELLIPSOIDAL HEIGHT: 573.955 SFT
GROUND SCALE FACTOR 1.0000412399
ALL MEASUREMENTS ARE ON THE GROUND.

LEGEND

- SUBDIVISION BOUNDARY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- CENTERLINE OF R-O-W
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROPOSED SETBACK LINE
- QUARTER SECTION LINE

- N NORTH
- S SOUTH
- E EAST
- W WEST
- 0.00' CALCULATED DATUM
- (0.00') RECORD DATUM
- FIR ○ FOUND IRON ROD
- FIP ○ FOUND IRON PIPE
- FAD ○ FOUND ALUMINUM DISK
- FCC + FOUND CROSS CUT
- SCM ■ SET CONCRETE MONUMENT

OWNER

Village of Villa Park
20 S Ardmore Avenue
Villa Park, IL 60181-2696
630-634-8500

DEVELOPER

Catalyst Partners
833 E. Michigan Street, Suite 1000
Milwaukee, WI 53202
414-727-6840

ENGINEER/SURVEYOR

V3 Companies of Illinois, Ltd.
7325 Janes Avenue, Suite 100
Woodridge, Illinois 60517
630-724-9200

THIS PLAT HAS BEEN SUBMITTED FOR
RECORDING BY AND RETURN TO:
NAME: THE VILLAGE OF VILLA PARK
ADDRESS: 20 ARDMORE AVE
VILLA PARK, IL 60181

SURVEYOR'S NOTES:

1. ONCE THE PLAT SHOWN HEREON IS RECORDED, AND
UPON THE COMPLETION OF CONSTRUCTION, 3/4" IRON
PIPES WITH PLASTIC CAPS SHALL BE SET AT ALL LOT
CORNERS AND CHANGES IN GEOMETRY, UNLESS
SHOWN OTHERWISE.

2. THE SUBDIVISION WILL BE BOUND TO THE DECLARATION
OF RECIPROCAL EASEMENT AGREEMENT FOR THE
FINAL PLAT OF SUBDIVISION OF THE UNION, DOCUMENT
_____, RECORDED ON
_____.

PREPARED FOR:

CATALYST PARTNERS
833 E. MICHIGAN STREET, SUITE 1000
MILWAUKEE, WI 53202
414-727-6840

REVISIONS					
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	05/04/2022	PER CITY COMMENTS			
2	01/30/2024	PER CITY COMMENTS			

FINAL PLAT OF SUBDIVISION

THE UNION, VILLA PARK, ILLINOIS

DRAFTING COMPLETED: 01-31-22
FIELD WORK COMPLETED: N/A
DRAWN BY: MLP
CHECKED BY: CWB
PROJECT MANAGER: CWB
SCALE: 1" = 30'

Project No: 211221
Group No: VP04.1
SHEET NO.
1 of 2



Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

FINAL PLAT OF SUBDIVISION
OF
THE UNION

PART OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 39 NORTH, RANGE
11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 06-10-106-001
06-10-106-002
06-10-106-004

OWNER CERTIFICATE

STATE OF _____)
) SS
COUNTY OF _____)

THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED ABOVE AND THAT NO OTHER PERSON HAS ANY RIGHT, TITLE, OR INTEREST IN SAID LAND, AND THAT SAID OWNERS HAS CAUSED THE SAME HEREBY SURVEYED AND SUBDIVIDED, AS INDICATED THEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND TO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.

DATED THIS ____ DAY OF _____, A.D., 20 ____.

NAME _____

ADDRESS _____

NOTARY PUBLIC

STATE OF _____)
) SS
COUNTY OF _____)

I, _____, A NOTARY PUBLIC IN AND FOR THE RESIDING IN
THE _____ COUNTY AND STATE _____ AFORESAID, DO HEREBY CERTIFY THAT
PERSONALLY KNOWN TO ME HEREBY AS SUCH OWNER(S)
APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/THEY SIGNED AND
DELIVERED THE PLAT AS HIS/THIER FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES
THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____, A.D., 20 ____.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

SCHOOL DISTRICT BOUNDARY STATEMENT

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS OATH DEPOSES AND STATES THE FOLLOWING:

THAT HE/SHE IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON A PROPOSED PLAT OF SUBDIVISION SUBMITTED TO THE VILLAGE FOR APPROVAL, WHICH LEGAL DESCRIPTION IS ATTACHED HERETO AND INCORPORATED BY REFERENCE HEREIN; AND

TO THE BEST OF THE OWNERS KNOWLEDGE, THE SCHOOL DISTRICT(S) IN WHICH EACH TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED SUBDIVISION LIES ARE

88, 48, 502 (SCHOOL DISTRICT NAME)

(ADDRESS)

DATED THIS ____ DAY OF _____, A.D., 20 ____.

OWNER(S) _____

PLANNING AND ZONING COMMISSION CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF VILLA PARK, ILLINOIS

THIS ____ DAY OF _____, A.D., 20 ____.

CHAIRMAN _____

VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

APPROVED AND ACCEPTED BY THE VILLAGE BOARD OF THE VILLAGE OF VILLA PARK, DUPAGE COUNTY, ILLINOIS, AT A MEETING HELD THIS ____ DAY OF _____, A.D., 20 ____.

BY: _____
PRESIDENT

ATTEST: _____
VILLAGE CLERK

SURFACE WATER DRAINAGE CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF _____)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVISION HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS ____ DAY OF _____, 20 ____.

IL REGISTERED PROFESSIONAL ENGINEER _____ OWNER _____

STATE REGISTRATION NUMBER _____ BY: _____

REGISTRATION EXPIRATION DATE _____ ITS: _____

BY: _____ ITS: _____

VILLAGE ENGINEER CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, VILLAGE ENGINEER OF THE VILLAGE OF VILLA PARK, ILLINOIS, HEREBY CERTIFY THAT THE LAND IMPROVEMENT DESCRIBED IN THE PLAT AND SPECIFICATIONS THEREFORE, MEET THE MINIMUM REQUIREMENTS OF THE VILLAGE AND HAVE BEEN APPROVED BY ALL PUBLIC AUTHORITIES HAVING JURISDICTION THEREOF.

DATED AT VILLA PARK, DUPAGE COUNTY, ILLINOIS

THIS ____ DAY OF _____, A.D., 20 ____.

VILLAGE ENGINEER _____

REGISTRATION NUMBER _____

PUBLIC UTILITY EASEMENT PROVISIONS

EASEMENTS ARE RESERVED FOR AND GRANTED TO THE VILLAGE OF VILLA PARK OVER ALL THE AREAS MARKED "P.U.E." OR "PUBLIC UTILITY EASEMENT" ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RECONSTRUCT, REPAIR, INSPECT, MAINTAIN, AND OPERATE STORM SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENT, TOGETHER WITH RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK, THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS. NO PERMANENT BUILDINGS SHALL BE PLACED WITHIN SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

ACCESS EASEMENT PROVISIONS

PERPETUAL, NONEXCLUSIVE ACCESS EASEMENTS FOR INGRESS AND EGRESS AND PARKING ARE HEREBY RESERVED FOR AND GRANTED TO THE VILLAGE OF VILLA PARK ON, OVER, THROUGH, ALONG AND ACROSS ALL OF THE AREAS OF THE PLAT HEREON DESIGNATED AS "ACCESS EASEMENT HEREBY GRANTED".

THE GRANTOR HEREBY COVENANTS AND AGREES THAT NOTHING SHALL BE ERRECTED OR MAINTAINED OR ALLOWED TO BE ERRECTED OR MAINTAINED UPON SAID ACCESS EASEMENTS WHICH WOULD IN ANY WAY HINDER OR PREVENT THE FREE FLOW OF PEDESTRIAN TRAFFIC EXCEPT AS MAY BE PROVIDED BY DECLARATIONS, COVENANTS OR RESTRICTIONS PLACED OR TO BE PLACED ON THE SAID EASEMENT AREA.

PERMISSION AND DESIGNATION TO RECORD

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, CHARLES W. BARTOSZ, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE VILLAGE CLERK OF THE VILLAGE OF VILLA PARK TO RECORD THIS PLAT OF SUBDIVISION OF THE UNION WITH THE DUPAGE COUNTY RECORDER OF DEEDS AND REGISTRAR OF TITLE. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER CHAPTER 109, SECTION 2 OF THE ILLINOIS REVISED STATUTES

THIS ____ DAY OF _____, A.D., 20 ____.

CHARLES W. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3188
MY LICENSE EXPIRES ON NOVEMBER 30, 2024.
V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.



SURVEYOR CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, CHARLES W. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3188, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9 AND 10 IN BLOCK 1 IN CALHOUN'S 2ND ADDITION TO VILLA PARK, IN THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 23, 1923 AS DOCUMENT NUMBER 163013, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

THAT PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, BOUNDED AS FOLLOWS: ON THE EASTERLY SIDE BY THE WEST LINE OF SOUTH VILLA AVENUE; ON THE NORTHERLY SIDE BY A LINE PARALLEL WITH AND DISTANT 50 FEET NORTHERLY, MEASURED AT RIGHT ANGLES, FROM THE CENTER LINE OF THE MAIN TRACK OF THE MINNESOTA AND NORTHWESTERN RAILROAD COMPANY (LATER THE CHICAGO GREAT WESTERN RAILWAY COMPANY, NOW THE CHICAGO AND NORTH WESTERN TRANSPORTATION COMPANY), AS SAID MAIN TRACK CENTER LINE WAS ORIGINALLY LOCATED AND ESTABLISHED ACROSS SAID SECTION 10; ON THE WESTERLY SIDE BY THE SOUTHERLY EXTENSION OF THE (PARALLEL) EAST LINE OF MYRTLE AVENUE, AS PLATTED IMMEDIATELY SOUTH OF E. KENILWORTH STREET; AND ON THE SOUTHERLY SIDE BY A LINE PARALLEL WITH AND DISTANT 25 FEET NORTHERLY, MEASURED AT RIGHT ANGLES, FROM THE CENTER LINE OF THE MAIN TRACK OF THE CHICAGO AND NORTH WESTERN TRANSPORTATION COMPANY (FOR4ERLY THE CHICAGO GREAT WESTERN RAILWAY COMPANY), AS SAID MAIN TRACK IS NOW LOCATED, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3:

THAT PART OF MYRTLE AVENUE IN CALHOUN'S 2ND ADDITION TO VILLA PARK, IN THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 39 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 23, 1923 AS DOCUMENT NUMBER 163013, IN DUPAGE COUNTY, ILLINOIS, BOUNDED AS FOLLOWS: ON THE NORTHEASTERLY SIDE BY THE SOUTHWEST LINES OF LOTS 9 AND 10 IN SAID CALHOUN'S 2ND ADDITION; ON THE SOUTHERLY SIDE BY A LINE PARALLEL WITH AND DISTANT 50 FEET NORTHERLY, MEASURED AT RIGHT ANGLES, FROM THE CENTER LINE OF THE MAIN TRACK OF THE MINNESOTA AND NORTHWESTERN RAILROAD COMPANY (LATER THE CHICAGO GREAT WESTERN RAILWAY COMPANY, NOW THE CHICAGO AND NORTH WESTERN TRANSPORTATION COMPANY), ON THE WESTERLY SIDE BY THE SOUTHERLY EXTENSION OF THE (PARALLEL) EAST LINE OF MYRTLE AVENUE, AS PLATTED IMMEDIATELY SOUTH OF E. KENILWORTH STREET (NOW E. WILDWOOD AVENUE).

I FURTHER CERTIFY THAT THE FOREGOING PROPERTY FALLS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF VILLA PARK, WHICH HAS ADOPTED A VILLAGE PLAN AND IT IS EXERCISING THE SPECIAL POWERS BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE.

I FURTHER CERTIFIED THAT NO PART OF THE PROPERTY COVERED BY THIS SUBDIVISION IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL MANAGEMENT AGENCY, AS SHOWN ON FIRM MAP NO. 17043C0088J, DATED AUGUST 1, 2019.

I FURTHER HEREBY CERTIFY THAT ALL SUBDIVISION MONUMENTS WILL BE SET AND I HAVE DESCRIBED THEM ON THIS FINAL PLAT AS REQUIRED BY THE PLAT ACT (765 ILCS 205/). THE EXTERIOR MONUMENTS HAVE BEEN SET AND THE INTERIOR MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT AS PROVIDED BY THE STATUE.

DATED THIS ____ DAY OF _____, A.D., 20 ____.

CHARLES W. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3188
MY LICENSE EXPIRES ON NOVEMBER 30, 2024.
V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.
cbartosz@v3co.com



COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK, DATED AT WHEATON, DUPAGE COUNTY, ILLINOIS THIS ____ DAY OF _____, 20 ____.

COUNTY CLERK _____

VILLAGE TREASURER CERTIFICATE

STATE OF ILLINOIS)
) SS
COUNTY OF DUPAGE)

I, _____, VILLAGE TREASURER FOR THE VILLAGE OF VILLA PARK, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT, INCLUDED IN THIS PLAT

DATED AT VILLA PARK, DUPAGE COUNTY, ILLINOIS

THIS ____ DAY OF _____, A.D., 20 ____.

VILLAGE TREASURER _____

PREPARED FOR:

CATALYST PARTNERS
833 E. MICHIGAN STREET, SUITE 1000
MILWAUKEE, WI 53202
414-727-6840

REVISIONS			
NO.	DATE	DESCRIPTION	
1	05/04/2022	PER CITY COMMENTS	
2	01/30/2024	PER CITY COMMENTS	

FINAL PLAT OF SUBDIVISION

THE UNION, VILLA PARK, ILLINOIS

DRAFTING COMPLETED: 01-31-22
FIELD WORK COMPLETED: N/A
DRAWN BY: MLP
CHECKED BY: CWB
PROJECT MANAGER: CWB
SCALE: 1" = N/A

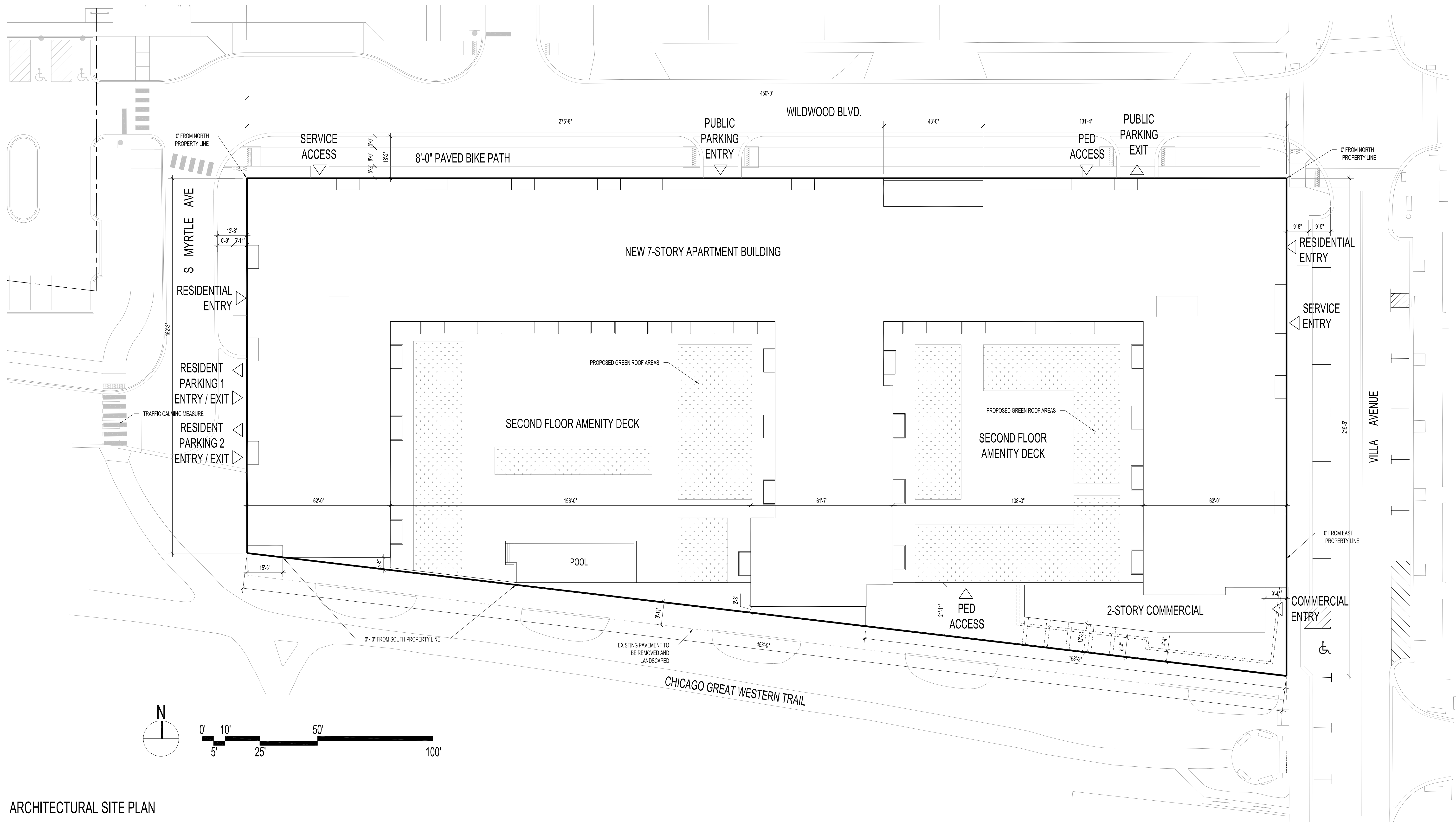
Project No: 211221
Group No: VP04.1

SHEET NO.
2 of 2



Engineers
Scientists
Surveyors

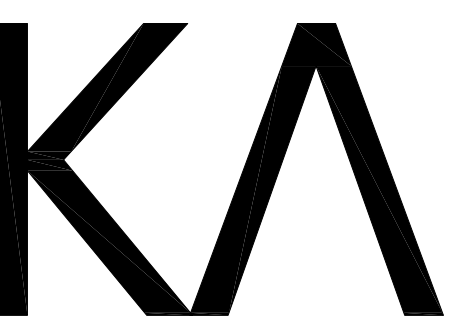
7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com



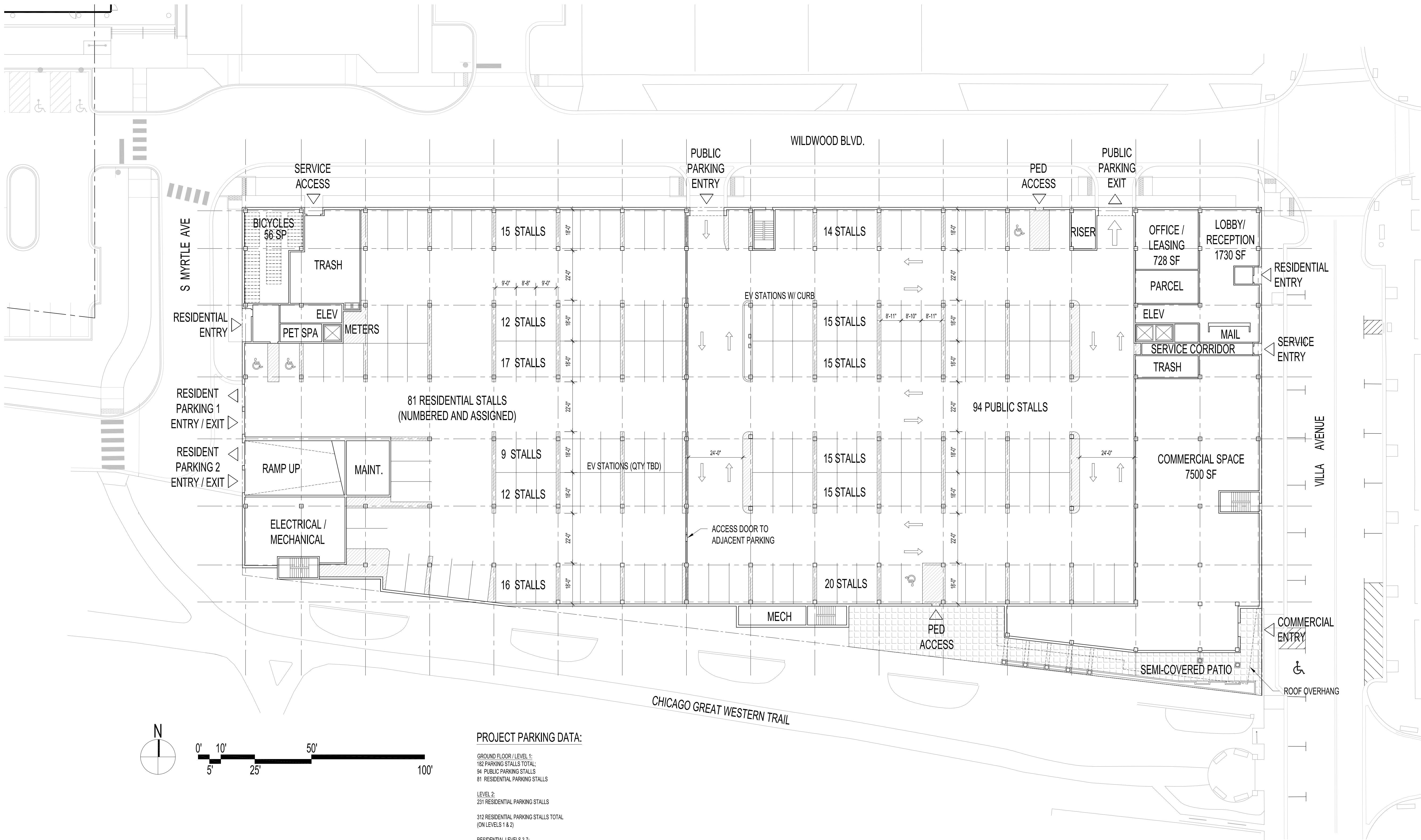
110 S. VILLA AVE. VILLA PARK, IL. 60181

1" = 20'-0"

22 MARCH 2024



KORB + ASSOCIATES ARCHITECTS

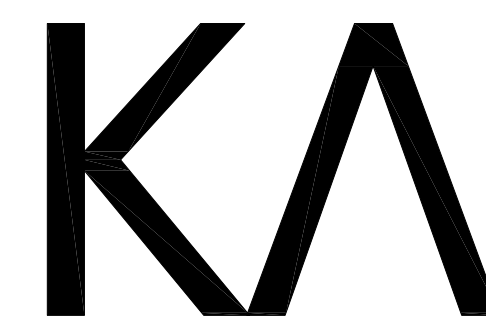


GROUND FLOOR PLAN

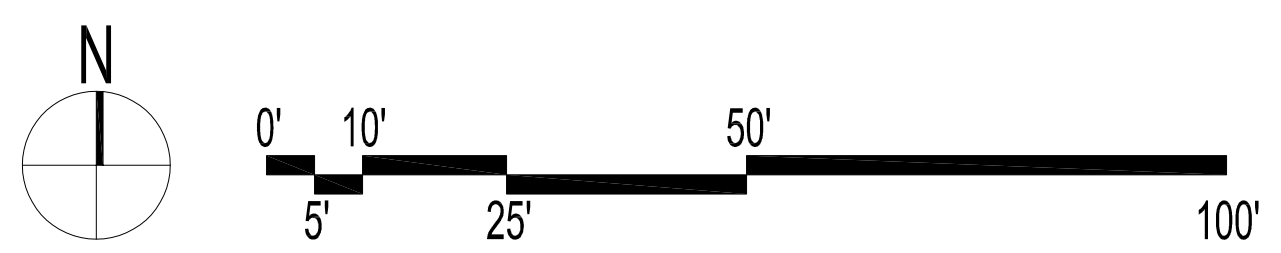
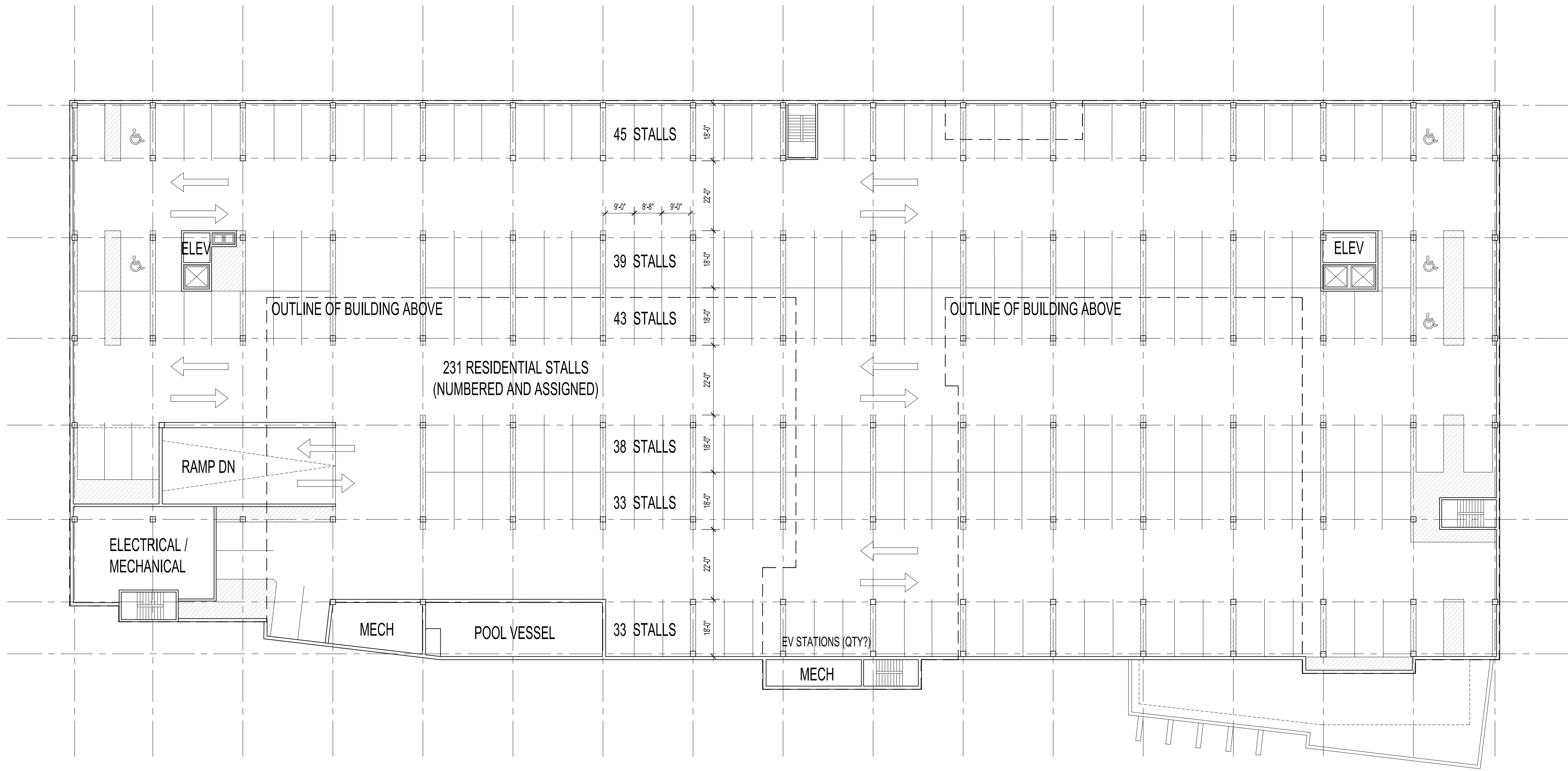
110 S. VILLA AVE. VILLA PARK, IL. 60181

1" = 20'-0"

22 MARCH 2024



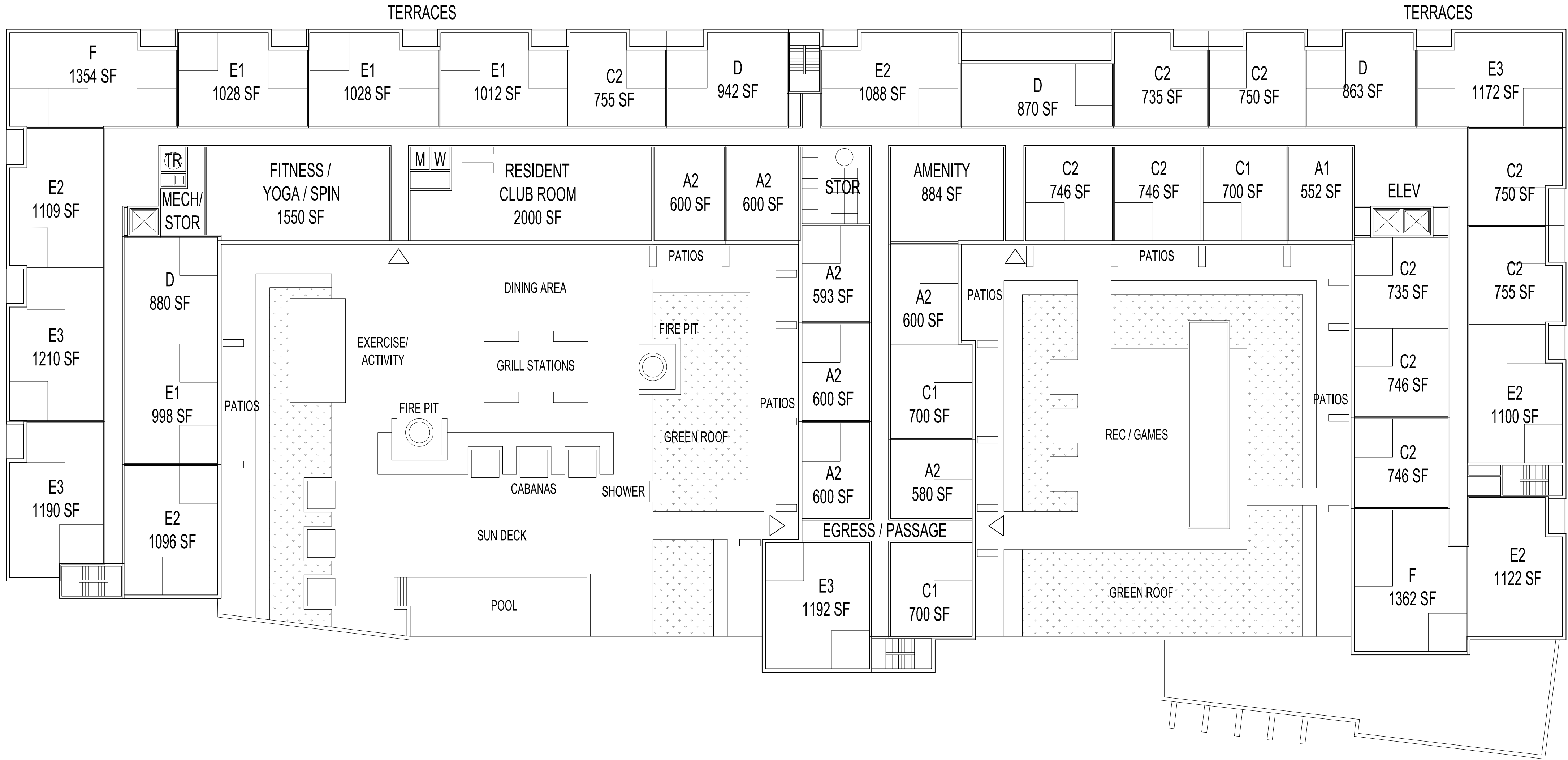
KORB + ASSOCIATES ARCHITECTS



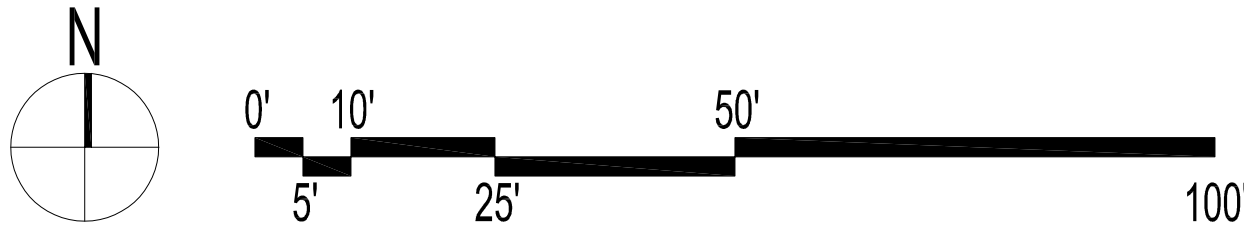
SECOND FLOOR PLAN

110 S. VILLA AVE. VILLA PARK, IL. 60181

1" = 20'-0"
22 MARCH 2024



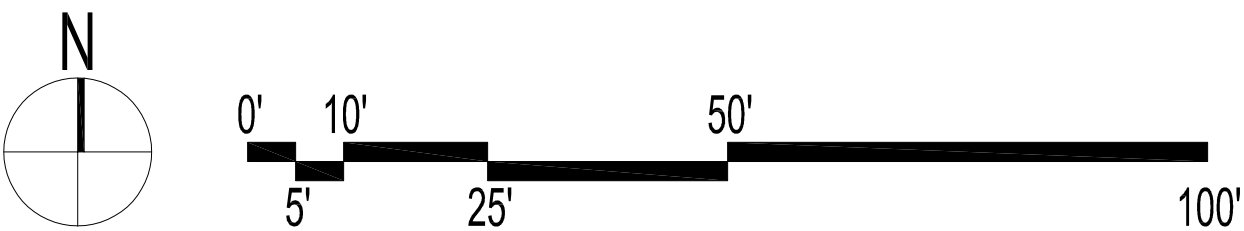
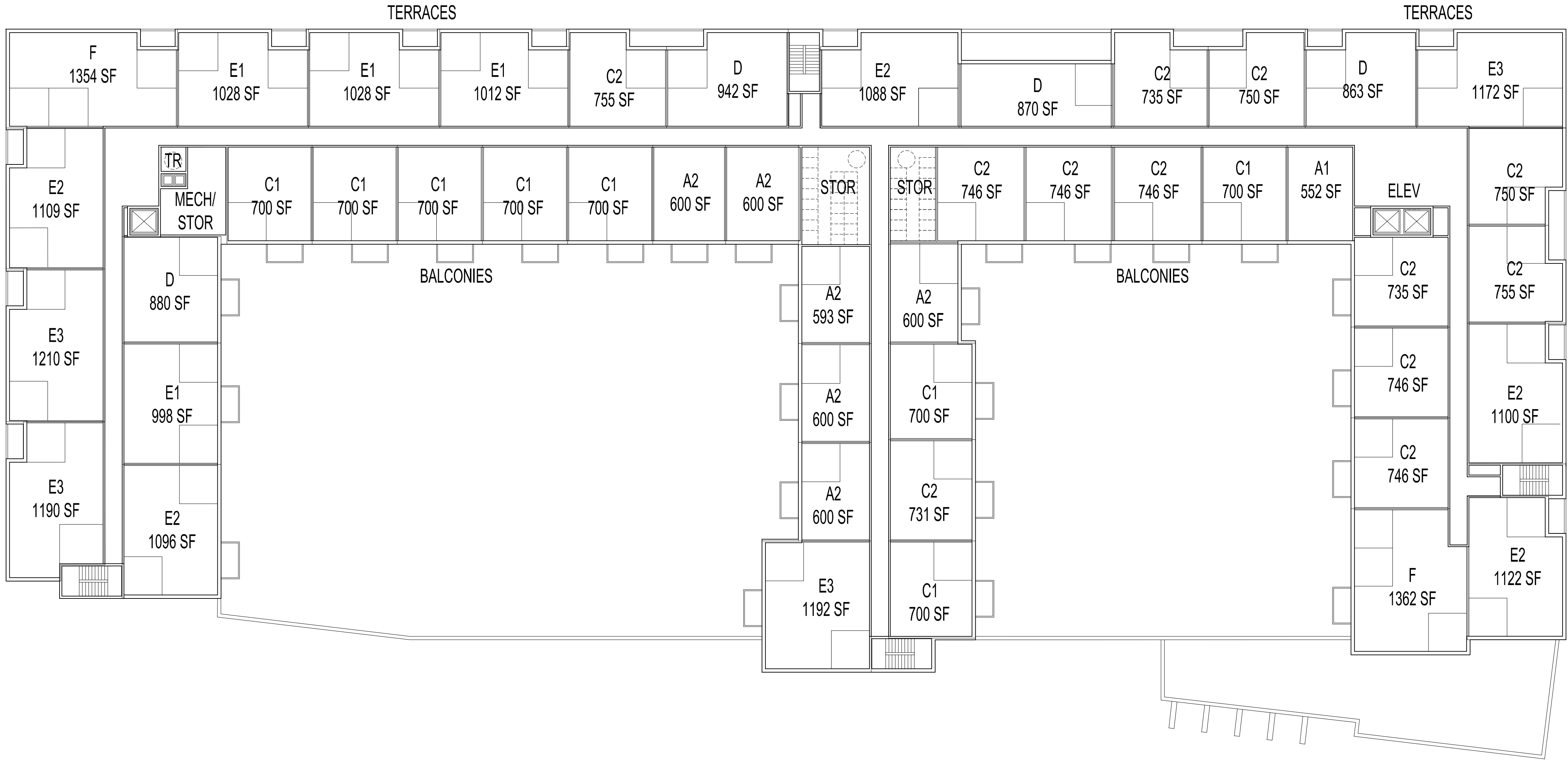
- LEVEL 3: 40 UNITS TOTAL
- | | |
|---------------|------------|
| (1) A1 STUDIO | (4) E1 2BR |
| (7) A2 JR-1 | (5) E2 2BR |
| (3) C1 1BR | (4) E3 2BR |
| (10) C2 1BR | (2) F 3BR |
| (4) D 1+ | |



THIRD FLOOR PLAN

110 S. VILLA AVE. VILLA PARK, IL. 60181

1" = 20'-0"
22 MARCH 2024



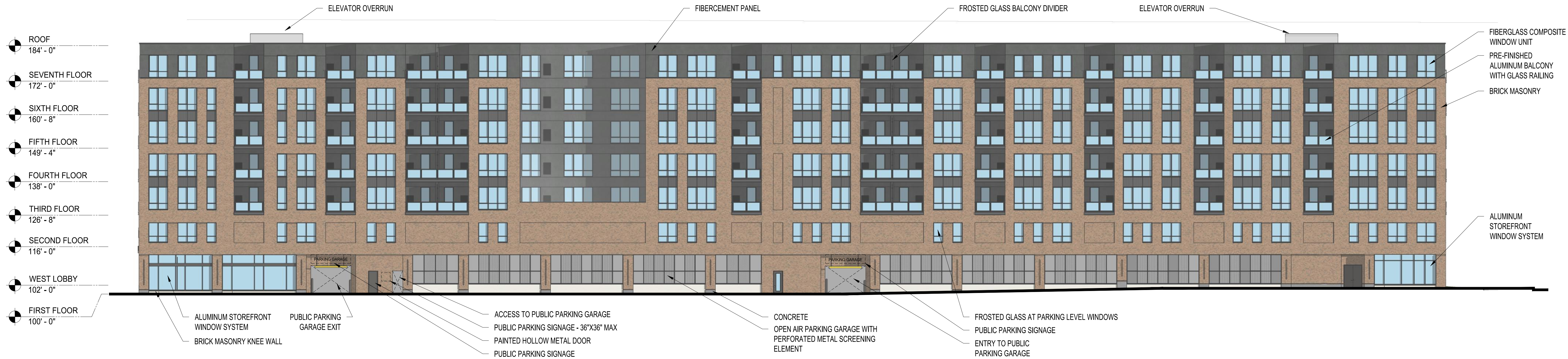
LEVELS 4-7: 46 UNITS PER FLOOR

- | | |
|---------------|------------|
| (1) A1 STUDIO | (4) E1 2BR |
| (6) A2 JR-1 | (5) E2 2BR |
| (8) C1 1BR | (4) E3 2BR |
| (12) C2 1BR | (2) F 3BR |
| (4) D 1+ | |

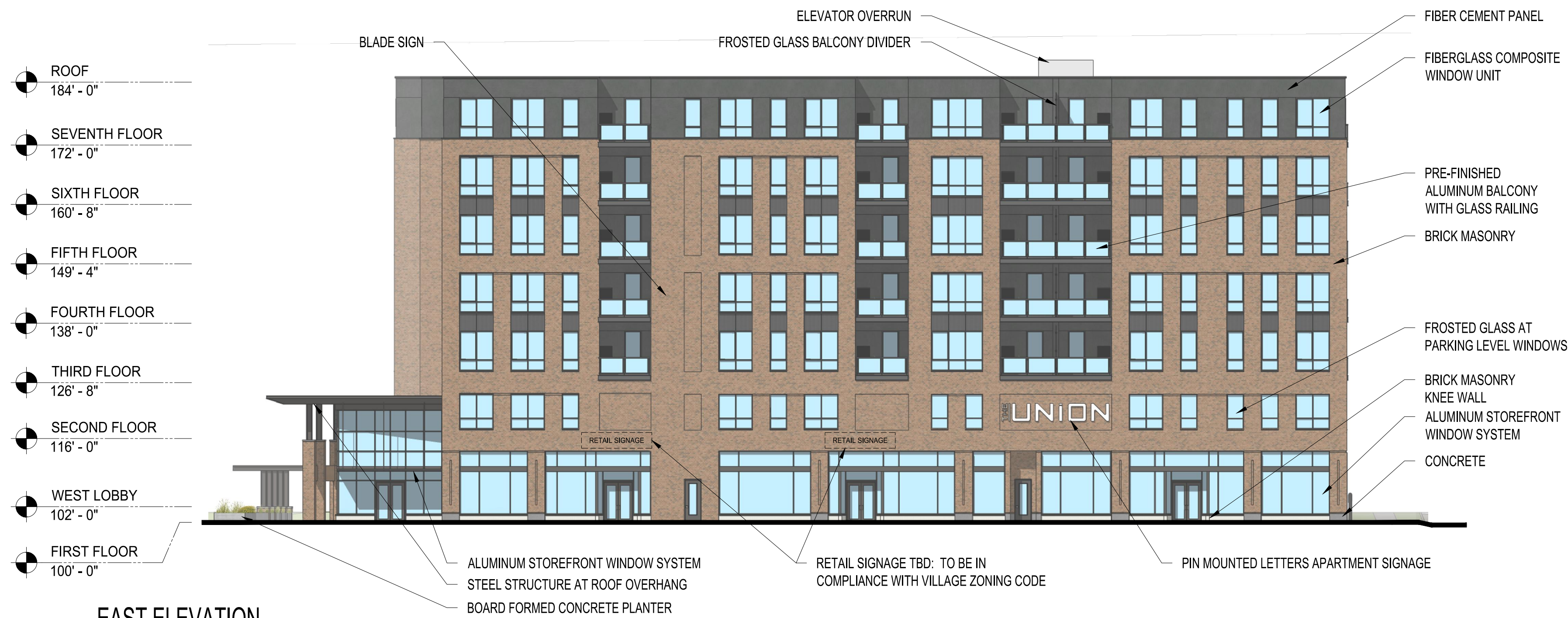
FOURTH - SEVENTH FLOOR PLAN

110 S. VILLA AVE. VILLA PARK, IL. 60181

1" = 20'-0"
22 MARCH 2024



NORTH ELEVATION



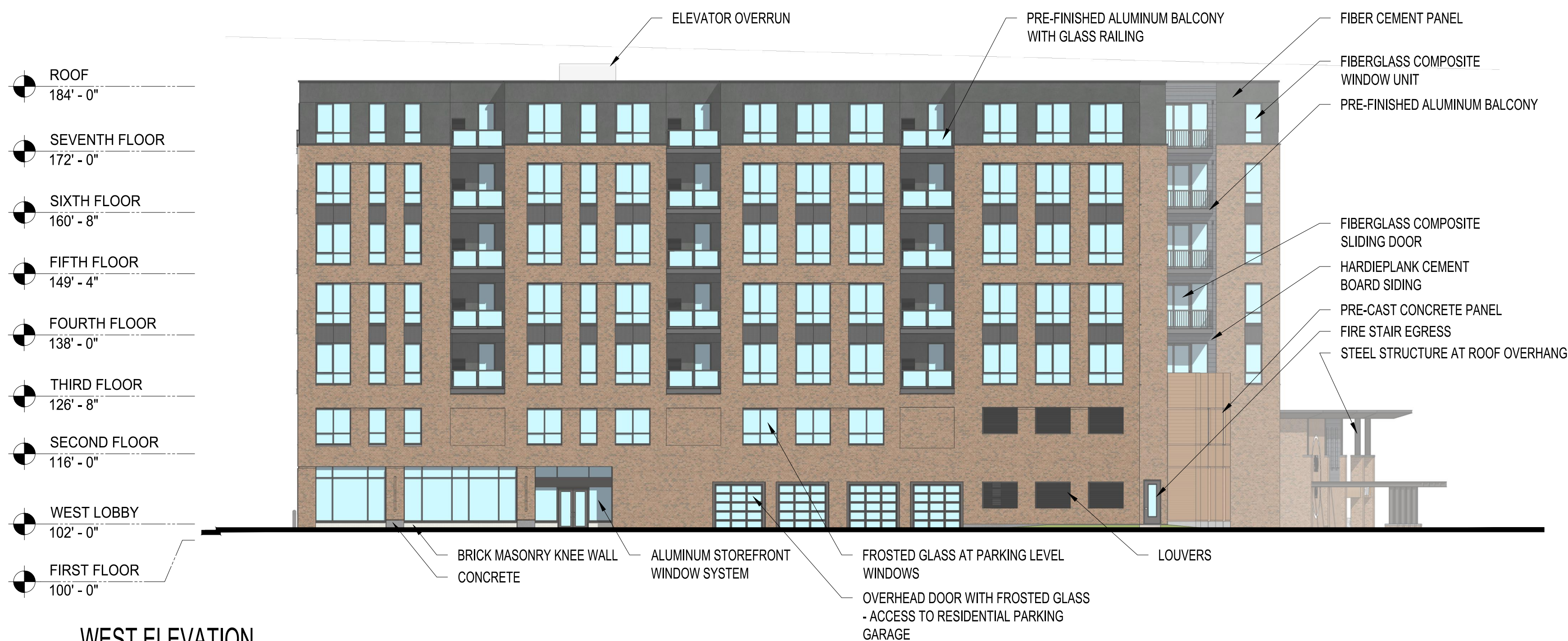
EAST ELEVATION

110 S. VILLA AVE. VILLA PARK, IL. 60181

1/16" = 1'-0"
22 MARCH 2024



SOUTH ELEVATION



WEST ELEVATION

110 S. VILLA AVE. VILLA PARK, IL. 60181

1/16" = 1'-0"
22 MARCH 2024



CAFE RENDERING



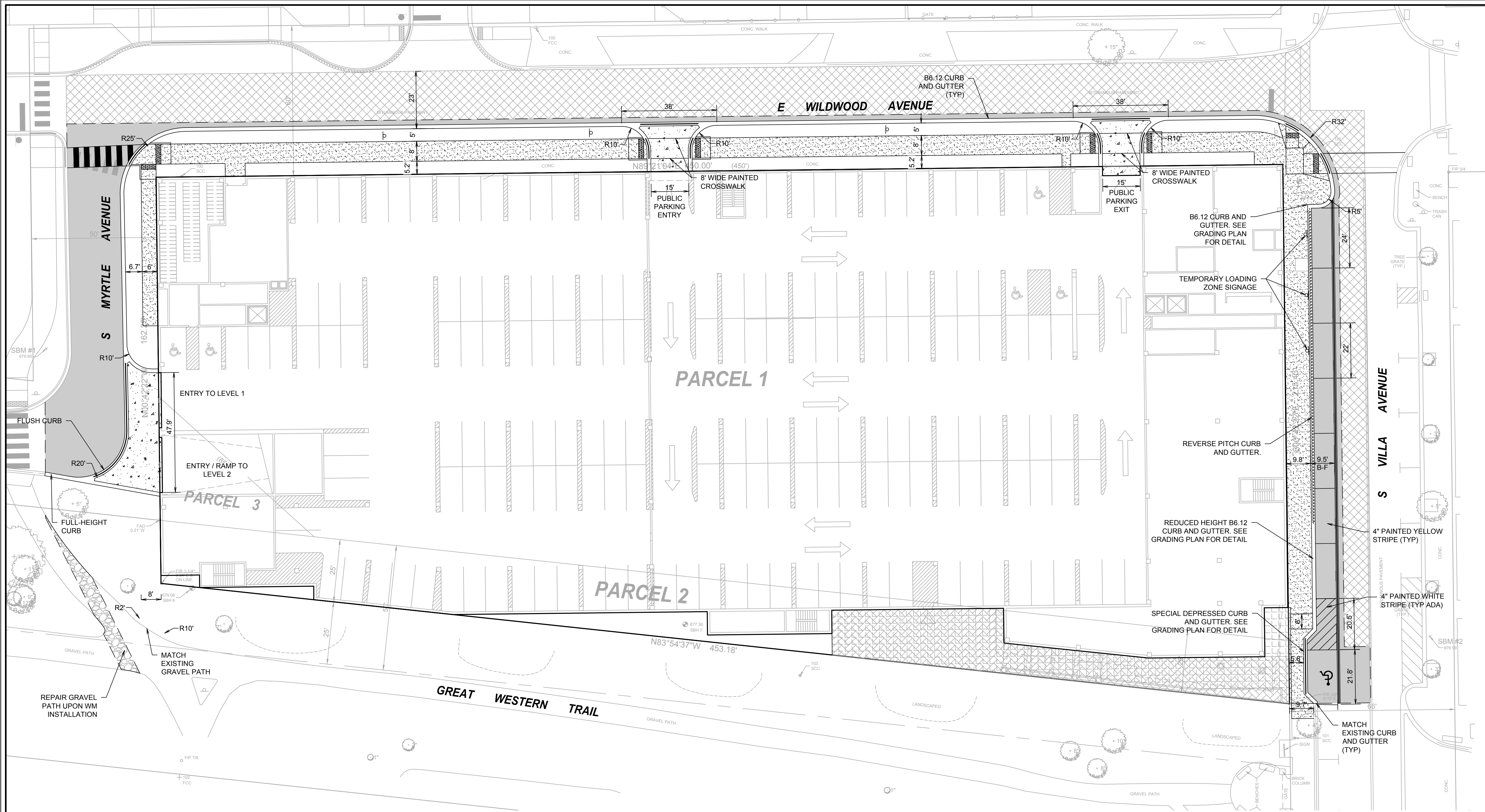
CORNER RENDERING



AERIAL RENDERING

110 S. VILLA AVE. VILLA PARK, IL. 60181

22 MARCH 2024



CURB LEGEND

	B6.12 REGULAR PITCH CURB AND GUTTER
	B6.12 REVERSE PITCH CURB AND GUTTER
	B6.12 DEPRESSED CURB AND GUTTER

NOTES:

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

PAVING LEGEND

HEAVY DUTY HMA PAVEMENT

	2" HMA SURFACE COURSE, MIX C, N50 4" HMA BINDER COURSE, IL-19, N50 8" AGGREGATE BASE COURSE - CA6
--	---

RESURFACE HMA PAVEMENT

	2" HMA SURFACE COURSE, MIX C, N50
--	-----------------------------------

CONCRETE PAVEMENT

	8" P.C. CONCRETE PAVEMENT WITH (6X6/W2.9=W2.9) W.W.F. 4" AGGREGATE BASE COURSE - CA6
--	---

CONCRETE SIDEWALK

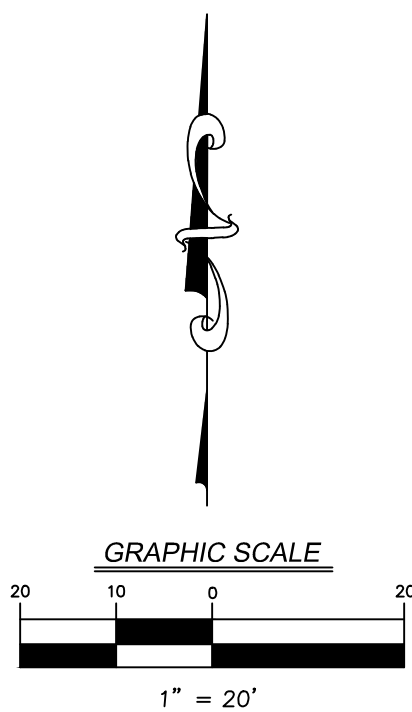
	5" P.C. CONCRETE PAVEMENT 4" AGGREGATE BASE COURSE - CA6
--	---

GRAVEL PATH

	MATCH EXISTING
--	----------------

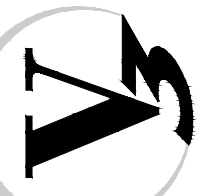
PAVERS

	SEE LANDSCAPE DRAWINGS FOR DETAILS
--	------------------------------------



REVISIONS		ORIGINAL ISSUE DATE: 02-04-2022	
NO.	DATE	DESCRIPTION	DESCRIPTION
1	02/02/24	PER VILLAGE REVIEW	
2	02/26/24	PER VILLAGE REVIEW	
DESIGNED BY: RA		DRAWN BY: DB	
PROJECT NO.: 211221		PROJECT MANAGER: RMW	
LAYOUT AND PAVING PLAN		THE UNION	
VILLA PARK		110 SOUTH VILLA AVENUE	
ILLINOIS		DRAWING NO. C3.0	

7325 Janes Avenue
Woodridge, IL 60517
630.724.9200 phone
www.v3co.com



DRAWING NO.

C3.0