

Public participation is invited on each agenda item prior to the Board's deliberation. **When called upon, please approach the microphone and state your name. Kindly limit your remarks to three (3) minutes.**

VILLAGE OF VILLA PARK
Village Hall, Board Room Chambers
20 S. Ardmore Avenue
Villa Park, IL 60181

Planning and Zoning Commission

November 14, 2024

7:30 PM

Chairman Jason Jarrett

Commissioners: Larry Calvert, Edward Hofstra, Kenneth Jackson, Louis LeMieux, Eric Luedtke,
Michael Orlowski, Dominick Romano, Justin Shlensky

1. **Call to Order - Roll Call**
2. **Approval of Minutes**
3. **Public Hearing - New Business**
4. **Discussion Items**
 - a. **PZ-24-20** / 420 W. Stone Road / Special Use / **Petitioner:** Jeff Peters
 - b. **PZ-24-17** / 320 E. Wildwood Avenue / Variation / **Petitioner:** Greg Gola
 - c. **PZ-24-21** / Text Amendment for Article 8 / Text Amendment / **Petitioner:** Village of Villa Park
 - d. **PZ-24-18** / Text Amendment for Article 6, 7, 14 / Text Amendment / **Petitioner:** Village of Villa Park
5. **Public Comments on Non-Agenda Items**
6. **Adjournment**

The Villa Park Village Hall is subject to the requirements of the Americans with Disabilities Act of 1990. An elevator is operational at the north side entrance to the Village Hall during normal work hours and also during evenings. Individuals with special needs are requested to contact the Village's Compliance Officer at (630) 834-8500 so that reasonable accommodations can be made for those persons.



Village of Villa Park

Community & Economic Development
11 W Home Avenue, Villa Park, IL 60181

TO: Planning & Zoning Commission
FROM: Community & Economic Development Department
DATE: November 14, 2024
RE: **Petition PZ-24-20 | 420 W. Stone Road | Special Use for a Building Service use**

PETITIONER	OWNER
Jeff Peters 998 Reading Street Bartlett, IL 60103	Jeff Peters 998 Reading Street Bartlett, IL 60103

Request Summary

The Petitioner is requesting a Public Hearing to consider approval of a Special Use for Building Service use within the C-3 Service Business District.

Background

The Subject Property includes a two-story multi-tenant building with two-story office spaces accessible from the northeast side of the building and warehouse spaces accessible from the southwest side of the building. A building service use for a gutter contractor proposes to occupy space D-1.

There are two existing building service uses within the building which did not previously receive Special Use approval for Planz HVAC in spaces A-1 and B-1 and Hoske HMI Remodeling in space C-1. This application would formalize Special Uses for those two (2) tenants as well.

Site Information

Present Zoning: Commercial Service Business District – C-3
Present Land Use: Office & warehouse
Property Size: 0.555 acres
PINs: 06-04-114-030

Surrounding Zoning

North: Commercial Service Business District – C-3
West: Residential Single-Dwelling District – RS-7.5
East: Light Industrial District – M-1
South: Neighborhood Business District – C-2 & Residential Single-Dwelling District – RS-7.5

Surrounding Land Use

Commercial
Residential
Industrial
Commercial & Residential

Comprehensive Plan Designation – Corridor Mixed-Use

This land use category is intended for a mixture of multi-family residential, corridor commercial and institutional uses along major transportation, auto-oriented corridors. This classification encompasses the Village’s main transportation corridors.

Zoning Request

The Petitioner is proposing to open a building service use for a gutter installation contractor within the existing multi-tenant building. The Petitioner does not propose any site plan or architectural changes to the building as part of this request.

Similarly, two (2) other building service uses currently occupy the building. When their Certificates of Occupancy were approved the tenants were not required to go through the Special Use process. As part of this application, those uses request approval of a Special Use to formalize their uses within the building. Formalizing the Special Use would also permit the property owner a longer time to fill the tenant space with a similar use should a tenant relocate than is currently provided by the nonconformity section within the zoning ordinance.

Internal Staff Review

Special Use

The Zoning Ordinance specifically allows for a right to request a Special Use for Building Service use in the C-3 zoning district per Table 6-1: Use Table. The Commission should consider whether the proposed use is appropriate and whether any conditions of operation may be necessary to mitigate any otherwise potential negative impacts. Section 11.4.11. of the Zoning Ordinance requires that any expansion of uses or facilities that qualifies as a major amendment must be reviewed through the Special Use process.

Site Plan Review

1. Building and Structure Location - The following comments relate to the issue of building and structure location in regard to the proposed development plans:
 - a. The proposed business would be within the existing building.
 - b. No building changes are proposed as part of the special use application.
2. Building Scale - The following comments relate to the issue of building scale in regard to the proposed development plans:
 - a. No changes to the building scale are proposed as part of the special use application.
3. Building Architecture - The following comments relate to the issue of architecture in regard to the proposed development plans:
 - a. No changes to the façade are proposed as part of the special use application.
4. Lot Coverage - The following comments relate to the issue of lot coverage in regard to the proposed development plans:
 - a. Maximum allowed lot coverage = N/A; Existing lot coverage = approximately 100%.
5. Site Circulation - The following comments relate to the issue of site circulation in regard to the proposed development plans:
 - a. The proposed tenant would utilize the assigned parking stalls in the rear of the building accessed via the alley for parking the company vehicles and to access the warehouse portion of the tenant space.
 - b. No changes to the existing parking lot are proposed.
6. Parking Lots - The following comments relate to the issue of parking lots in regard to the proposed development plans:
 - a. The proposed site plan would include 28 parking stalls with the potential for additional parking within the tenant spaces.
7. Landscaping - The following comments relate to the issue of landscaping in regard to the proposed development plans:
 - a. No additional landscaping would be installed as part of the special use application.
8. Signage - The following comments relate to the issue of signage in regard to the proposed development plans:
 - a. No signage is currently proposed for the proposed building service uses.
9. Site Illumination - The following comments relate to the issue of site illumination in regard to the proposed development plans:
 - a. No changes are proposed to the existing site illumination.

10. Completeness - If the Planning and Zoning Commission requires additional information to determine whether the applicant's development requests comply with the applicable standards of the Code, they may direct the applicant to furnish additional information and evidence that may provide clarity regarding their concerns.

Findings

Per Section 11.4.8. – Review and Approval Criteria: No Special Use may be recommended for approval or approved unless the respective review or decision-making body determines that the proposed Special Use is consistent with and in substantial compliance with all village board policies and plans and that the applicant has presented evidence to support each of the following conclusions for both Special Uses that they are requesting:

- A.** That the proposed use or activity is expressly authorized as a special use;
Petitioner's Response: *Yes, this is a special use.*
- B.** That the proposed use at the proposed location is necessary or desirable to provide a service or a facility that is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;
Petitioner's Response: *Yes, these are contractors and necessary service for residence in Villa Park and surrounding areas. The owner of the company is a Villa Park resident and wants to keep his company within the community.*
- C.** That the proposed use will not, in the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the vicinity or be injurious to property values or improvements in the vicinity.
Petitioner's Response: *This will not impact the community. No loud noises and equipment. All items will be stored inside the warehouse.*
- D.** That approval of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
Petitioner's Response: *This will not impact other tenants because it's the same type of service businesses that already exist within the building.*
- E.** That the proposed special use will be served by adequate utilities, access roads, parking, drainage and other important and necessary facilities, infrastructure, and community services; and
Petitioner's Response: *No other infrastructure is needed as all currently exists.*
- F.** That the proposed special use complies with all applicable regulations of this zoning ordinance except as expressly approved in accordance with the procedures of this zoning ordinance.
Petitioner's Response: *No other requests.*

Notification

Legal Notice was published in the Daily Herald on October 28, 2024, a sign placed on the subject property, and notifications sent to property owners within a 250.0 foot radius of the subject property in advance of the Public Hearing.

Staff Recommendation

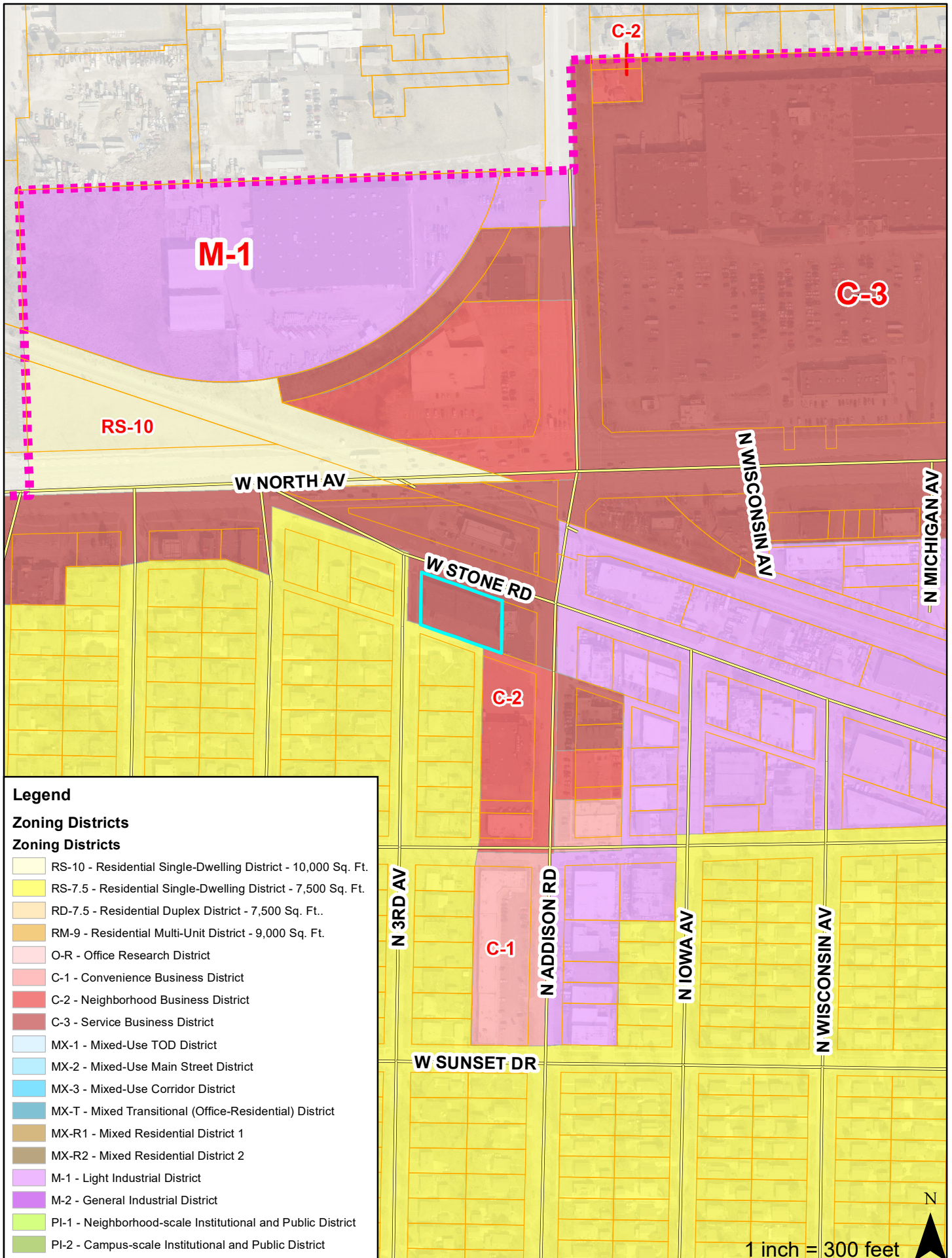
Village staff has reviewed the petition and is supportive of the request.

Recommended Action

To recommend approval of PZ-24-20 for a Special Use for three (3) Building Service uses as shown in Exhibit A located at 420 W. Stone Road, units A-1-B-1 for Planz HVAC, C-1 for Hoske HMI Remodeling, and D-1 KES Gutters.

Exhibit List

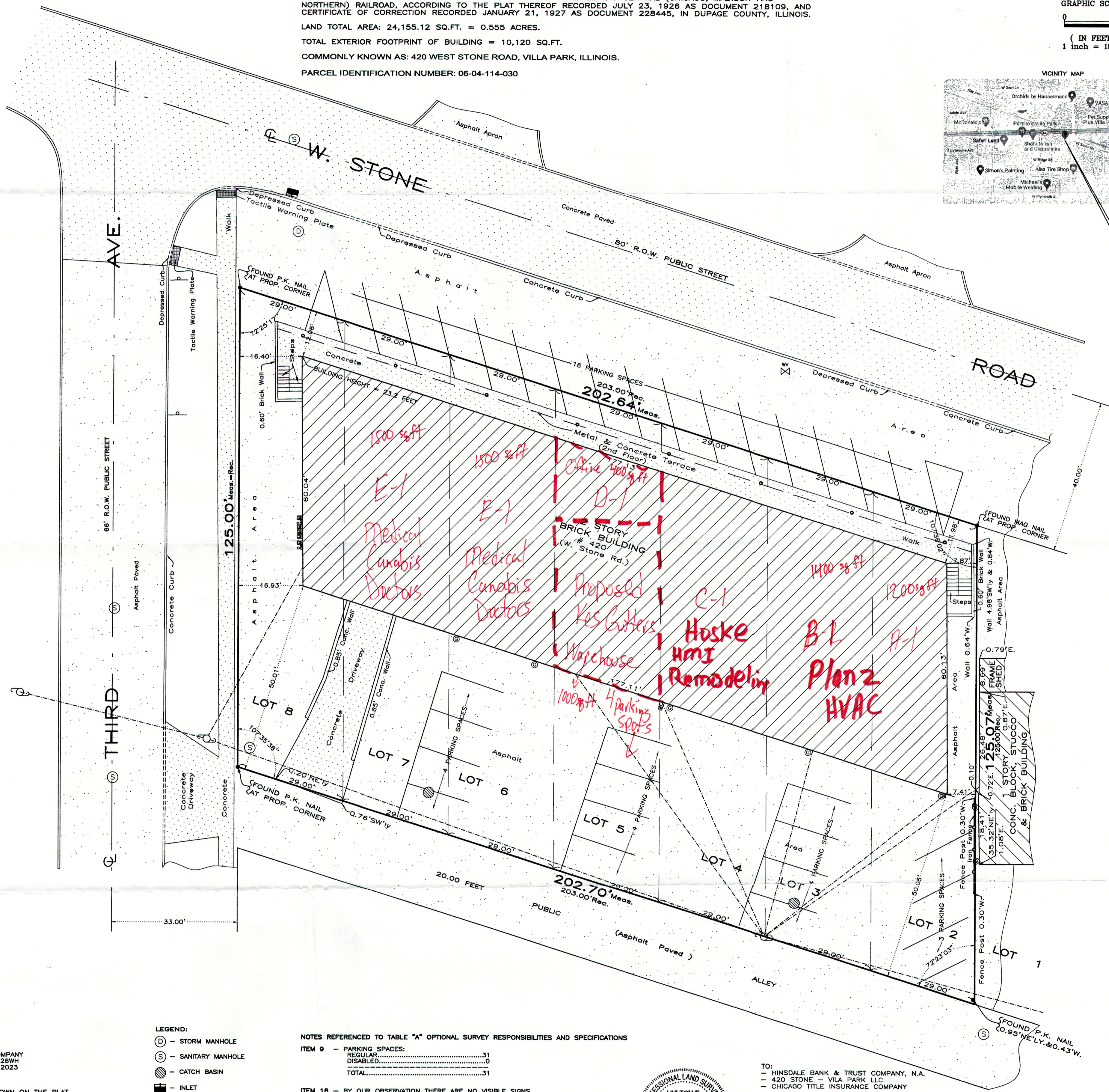
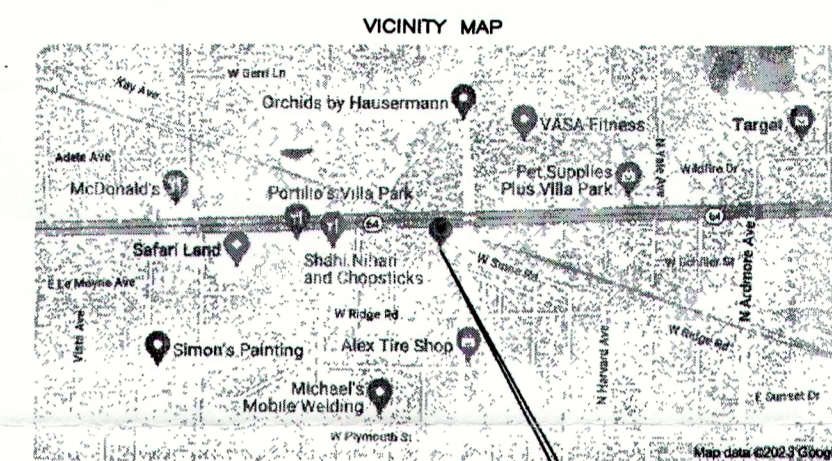
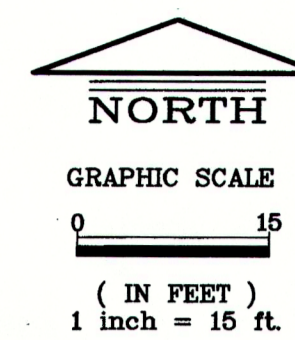
- A. Plat of Survey



ALTA/NSPS LAND TITLE SURVEY

OF
 LOTS 2, 3, 4, 5, 6, 7 AND 8 IN BLOCK 1 IN FIRST ADDITION TO NORTH AVENUE TERRACE, A SUBDIVISION IN THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE RIGHT-OF-WAY OF THE ILLINOIS CENTRAL (CHICAGO, MADISON AND NORTHERN) RAILROAD, ACCORDING TO THE PLAT THEREOF RECORDED JULY 23, 1926 AS DOCUMENT 218109, AND CERTIFICATE OF CORRECTION RECORDED JANUARY 21, 1927 AS DOCUMENT 228445, IN DUPAGE COUNTY, ILLINOIS.

LAND TOTAL AREA: 24,155.12 SQ.FT. = 0.555 ACRES.
 TOTAL EXTERIOR FOOTPRINT OF BUILDING = 10,120 SQ.FT.
 COMMONLY KNOWN AS: 420 WEST STONE ROAD, VILLA PARK, ILLINOIS.
 PARCEL IDENTIFICATION NUMBER: 06-04-114-030



BASIS:
 CHICAGO TITLE INSURANCE COMPANY
 COMMITMENT NO.: 23CND100026WH
 COMMITMENT DATE: JULY 31, 2023

THE LEGAL DESCRIPTION SHOWN ON THE PLAT
 HEREON DRAWN IS A COPY OF THE ORDER, AND
 FOR ACCURACY SHOULD BE COMPARED WITH
 THE TITLE OR DEED.

DIMENSIONS ARE NOT TO BE ASSUMED FROM
 SCALING.

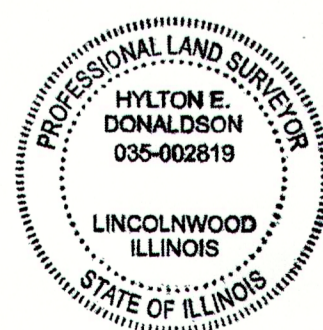
ORDER NO.: 02-61070
 SCALE: 1 INCH = 15 FEET.

DATE OF FIELD WORK: September 5, 2023
 ORDERED BY: LUCAS, APOSTOLOPOULOS & VALENTI, LTD.
 Attorneys at Law

- LEGEND:
- ⊙ - STORM MANHOLE
 - ⊙ - SANITARY MANHOLE
 - ⊙ - CATCH BASIN
 - ⊙ - INLET
 - ⊙ - WATER VALVE
 - ⊙ - UTILITY POLE
 - ⊙ - TRAFFIC SIGN
 - ⊙ - TELEPHONE BOX
 - ⊙ - GAS PIPE & METER
 - ⊙ - DOWNSPOUT
 - ⊙ - METAL POST

NOTES REFERENCED TO TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS

- ITEM 9 - PARKING SPACES:
 REGULAR.....31
 DISABLED.....0
 TOTAL.....31
- ITEM 16 - BY OUR OBSERVATION THERE ARE NO VISIBLE SIGNS
 OF ANY CURRENT BUILDING CONSTRUCTION OR EARTH
 MOVEMENT ON THIS PROPERTY.
- ITEM 18 - NO INFORMATION SHOWING WETLANDS DELINEATION MARKERS
 COMPLETED BY QUALIFIED PERSONNEL WAS PROVIDED BY
 CLIENT FOR THE SUBJECT PROPERTY.
- ITEM 18 - THERE ARE NO RECORD DOCUMENTS PROVIDED TO
 THE SURVEYOR OF ANY OFFSITE EASEMENTS BENEFITTING
 THIS PROPERTY.
- ITEM 19 - PROFESSIONAL LIABILITY INSURANCE POLICY HAS BEEN
 OBTAINED BY THE SURVEYOR IN THE AMOUNT OF \$2,000,000.00



TO:
 - HINSDALE BANK & TRUST COMPANY, N.A.
 - 420 STONE - VILA PARK LLC
 - CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN
 ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE
 SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a),
 7(b)(1), 8, 9, 14, 16, 18 AND 19 OF TABLE A THEREOF.
 THE FIELD WORK WAS COMPLETED ON September 5, 2023.

DATE OF PLAT: October 19, 2023

IL PROF. LAND SURVEYOR NUMBER 035-002819
 MY LICENSE EXPIRES NOVEMBER 30, 2024.

DRAWN BY: ZZ - S.Z.



Village of Villa Park

Community & Economic Development
11 W Home Avenue, Villa Park, IL 60181

TO: Planning & Zoning Commission
FROM: Community & Economic Development Department
DATE: November 14, 2024
RE: **Petition PZ-24-17 | 320 E. Wildwood Avenue | Variation**

PETITIONER	OWNER
Greg Gola, Director of Parks and Recreation Village of Villa Park 20 S. Ardmore Avenue Villa Park, IL 60181	Village of Villa Park 20 S. Ardmore Avenue Villa Park, IL 60181

Request Summary

The Petitioner is requesting a Public Hearing to consider approval of a Variation for two (2) wall signs greater than 32.0 square feet in area on a nonresidential use in a residential zoning district.

Background

The Subject Property is being developed as the Villa Park Recreation Center. The property previously received approval of a Special Use, Variations, and a Final Plat of Subdivision for the development of the recreation center. At that time, signage had not been considered for new recreation center. The Petitioner wishes to install two (2) illuminated wall signs. The Petitioner may consider an illuminated ground sign at a later date.

Site Information

Present Zoning: Residential Single Dwelling District - 7,500 sq. ft. (RS-7.5)
 Present Land Use: Recreation
 Property Size: 4.5 acres
 PINs: 06-10-104-017; 06-10-104-014

Surrounding Zoning

North: Mixed-Use Corridor District (MX-3)
 West: Residential Single Dwelling (RS-7.5)
 East: Mixed Transitional (Office-Residential District (MX-T)
 South: Mixed Residential District 2 (MX-R2)

Surrounding Land Use

Commercial
 Detached Single Dwelling Residential
 Commercial
 Vacant/Attached Multi-Dwelling Unit

Comprehensive Plan Designation – Single-Family Residential

This land use category is intended for detached single-family residential dwellings of generally one to two stories in height. This classification encompasses most of the Village’s established residential neighborhoods.

Zoning Request

The Petitioner is requesting approval of a Variation from Section 8.5.2 “Signs Allowed” for two (2) illuminated wall signs greater in area than 32.0 square feet. The proposed wall sign on the north façade is 46.3 square feet, 14.3 square feet greater than Code would permit. The proposed wall sign on the south façade is 201.5 square feet, 149.5 square feet greater than Code would permit.

Internal Staff Review

Variation

The Zoning Ordinance specifically allows for Variation petitions in order to grant relief to a property owner from strict compliance with the regulations of the Zoning Ordinance. Variations are intended to help alleviate a practical difficulty or particular hardship that would be caused by the literal enforcement of the subject ordinance requirements and are site specific.

The maximum permitted signage area for the VPRC would be 32.0 square feet per public building entrance leading to a lobby or other common area. If the property was located within a nonresidential zoning district, the signage would be permitted by right. Exhibit A includes the proposed signage exhibits and plan for installation on the north and south elevations of the building. The Plat of Survey is provided as Exhibit B.

Findings

Per Sec. 11.5.6.8. The Planning and Zoning Commission's recommendation must be accompanied by specific findings of fact regarding whether practical difficulties or particular hardships would result if a Variation is not granted. *The Petitioner has submitted the following justification for a Variation from Article 8, Section 8.5.2 of the Zoning Ordinance:*

1. State the particular hardship and/or practical difficulty created for you in carrying out the strict letter of the zoning regulations to wit:

Due to the size of the building, larger letters are needed to be able to distinguish from a reasonable distance away. The size of the letter were determined based on the existing layout of the building to provide for an architectural pleasing look.

2. A reasonable return or use of your property is not possible under the existing regulations because:

The existing property was a recreational building and park, and the property is maintaining the same use.

3. Your situation is unique (not applicable in other properties in the area or zoning classification) in the following respect:

The size of the recreational facility is now larger demanding larger sizing for letters and signage to make the sign feel appropriate. All other current buildings are smaller.

4. The variation will not alter the essential character of the locality, impair an adequate supply of light and air to adjacent property; not increase hazard from fire; not impair property values in the neighborhood; not unduly increase congestion in the streets, or otherwise impair public safety; health and convenience because:

The proposed signs are utilizing LED back lights. Therefore the Village can control the brightness of the signs as not to create a nuisance for neighboring properties.

Notification

Legal Notice was published in the Daily Herald on September 23, 2024, a sign placed on the subject property, and notifications sent to property owners within a 250.0 foot radius of the subject property in advance of the Public Hearing.

Staff Recommendation

Village staff has reviewed the petition and is supportive of the request.

Recommended Action

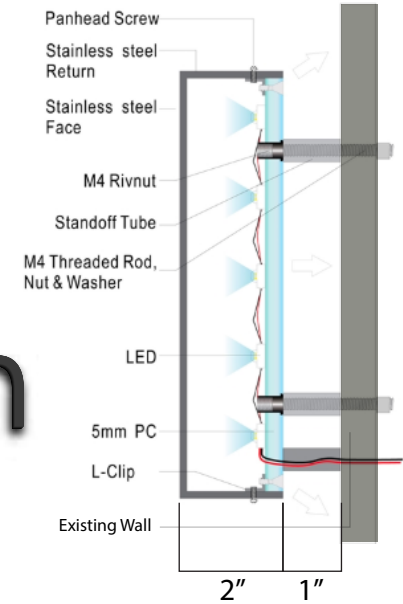
To recommend approval of PZ-24-17 for a Variation from Section 8.5.2 Signs in R Zoning Districts to allow two (2) illuminated signs on the north and south elevations greater than 32.0 square feet in area as depicted on Exhibit A for 320 E. Wildwood Avenue.

Exhibit List

- A. Sign Exhibits
- B. Sign Visibility Drawing
- C. Plat of Subdivision

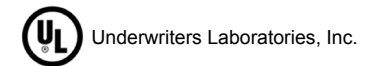
RGB Back-Lit Routed Steel Letters on Standoffs - Brushed Black Finish

Total SQ FT 201.5'



Sign Specs

Face Material	Steel
Face Color	Brushed Black
Trim Color	N/A
Back Material	Acrylic
Return Material	Steel
Return Width	2"
Return Color	Brushed Black
LED Color	RGB
Raceway Color	N/A



Site Surveyed	<input checked="" type="checkbox"/>
Site Installation Ready	<input checked="" type="checkbox"/>



4752 N Avers Ave
Chicago, IL 60625
Tel: (847) 508-9907
Website: neonartchicago.com
Phone: (773) 588-5883
Neonartchicago@gmail.com

Client: Villa Park Recreation Center
Date: 10/02/24
Address: 320 E Wildwood Ave
City: Villa Park, IL 60181

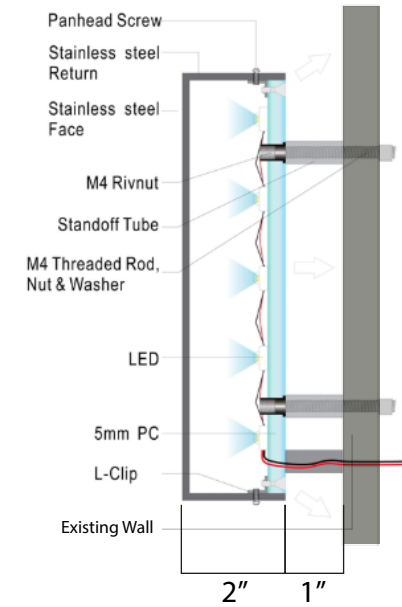
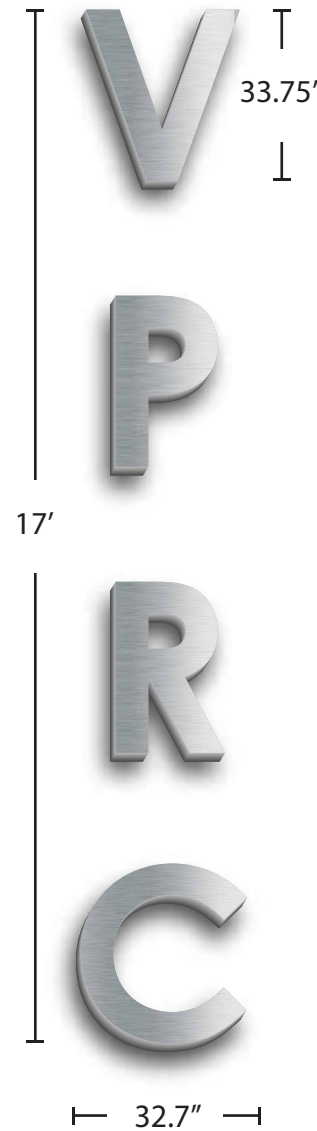


This drawing is the property of Neon Art Sign Company. No reproductions or exhibitions are permitted without the express written consent of Neon Art Sign Company. An assessment of up to \$2,500 will be charged for any misuse of this drawing. By signing the Customer Acceptance on this print, I understand that I am accepting all aspects of this drawing. This includes Artwork, Specifications, Dimensions, Spelling, and all other representations herein. I also understand that color reproductions on this print are approximate and may not match.

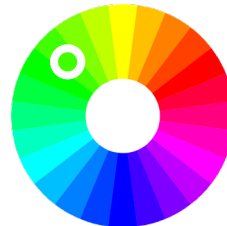
X _____

RGB Back-Lit Routed Steel Letters on Standoffs - Brushed Silver Finish

Total SQ FT 46.3'



RGB Color Wheel



Sign Specs

Face Material	Steel
Face Color	Brushed Silver
Trim Color	N/A
Back Material	Acrylic
Return Material	Steel
Return Width	2"
Return Color	Brushed Silver
LED Color	RGB
Raceway Color	N/A



Site Surveyed	<input checked="" type="checkbox"/>
Site Installation Ready	<input checked="" type="checkbox"/>



4752 N Avers Ave
Chicago, IL 60625
Tel: (847) 508-9907
Website: neonartchicago.com
Phone : (773) 588-5883
Neonartchicago@gmail.com

Client: Villa Park Recreation Center
Date: 10/02/24
Address: 320 E Wildwood Ave
City: Villa Park, IL 60181



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X



- NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED YELLOW UNLESS OTHERWISE NOTED.
 3. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 4. ALL CURB AND GUTTER SHALL BE B6.12 UNLESS OTHERWISE NOTED.

PAVING LEGEND

HEAVY DUTY HMA PAVEMENT

- 2" HMA SURFACE COURSE, MIX C, N50
- 4" HMA BINDER COURSE, IL-19, N50
- 8" AGGREGATE BASE COURSE - CA6

HEAVY DUTY CONC PAVEMENT

- 6" P.C. CONCRETE PAVEMENT WITH (6X8)W2.9=H2.9) W.W.F.
- 8" AGGREGATE BASE COURSE - CA6

CONCRETE SIDEWALK

- 5" P.C. CONCRETE PAVEMENT
- 4" AGGREGATE BASE COURSE - CA6

PERMEABLE PAVERS (HEAVY DUTY)

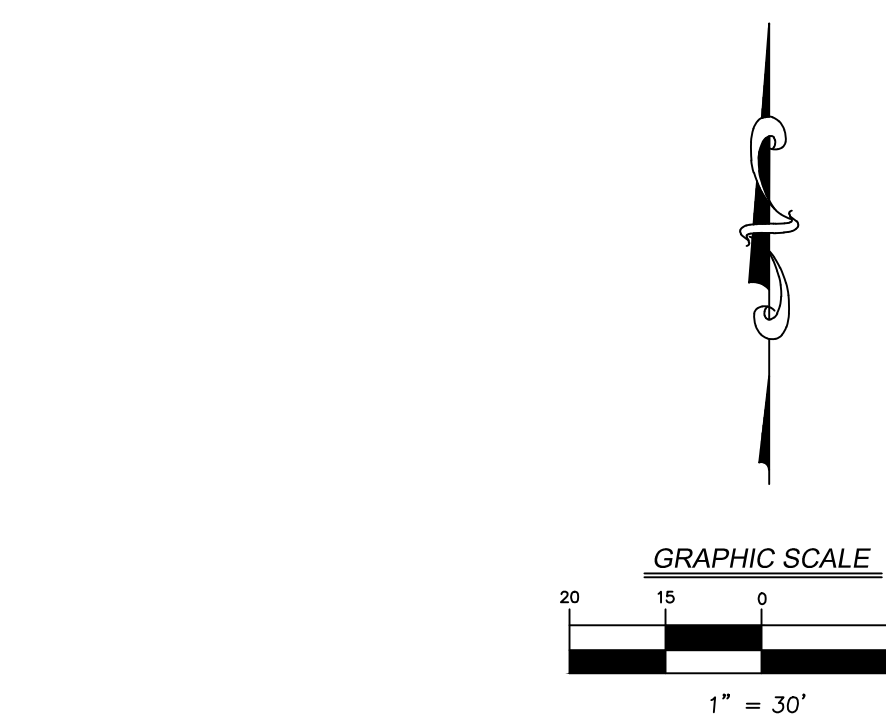
- UNILOC ECO-PRIOA PERMEABLE PAVER OR APPROVED EQUAL
- 2" AGGREGATE BASE COURSE - CA-16
- 7" AGGREGATE BASE COURSE - CA-7
- 12" AGGREGATE BASE COURSE - CA-1

PERMEABLE PAVERS (PEDESTRIAN)

- 3.125" PERMEABLE CONCRETE PAVER
- 1.5" AGGREGATE BASE COURSE - CA-16
- 4" AGGREGATE BASE COURSE - CA-7
- 6" AGGREGATE BASE COURSE - CA-1

PARKING SUMMARY

PROVIDED STALLS	
STANDARD STALLS PROVIDED	= 70
ACCESSIBLE STALLS PROVIDED	= 3
TOTAL PARKING PROVIDED	= 73



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Williams Associates/Architects, Ltd.

7322 James Avenue
Chicago, IL 60617
630.724.8200
www.williams-associates.com

WILLIAMS ARCHITECTS

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7322 James Avenue Chicago, IL 60617
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WILLIAMS ARCHITECTS

ARCHITECTURE PLANNING INTERIORS
7322 James Avenue Chicago, IL 60617
Phone 630-221-1212 / Fax 630-221-1220

DRAWING TITLE:
SITE LAYOUT AND PAVING PLAN

DRAWING NO.
C3.0

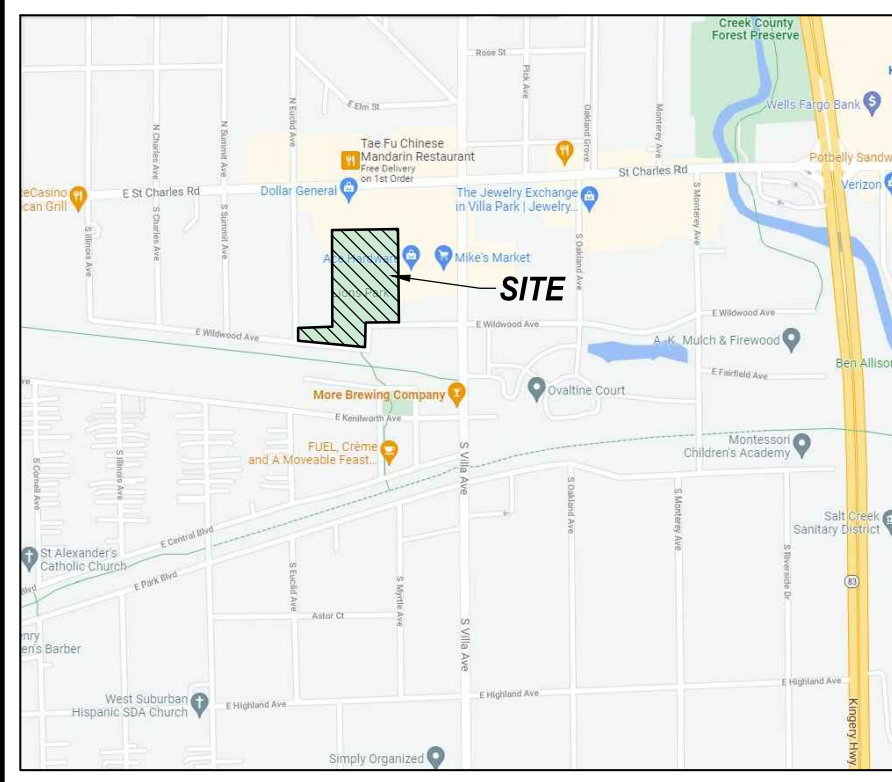
WA No. 2021-5003
Date 2023-06-07
Draw NRS
Checked SAK

NO. DATE DESCRIPTION
1 07 JUNE 2023 WORK PACKAGE #7 / ISSUE FOR BID
2 19 JULY 2023 PER ZONING COMMENTS

GRAPHIC NORTH

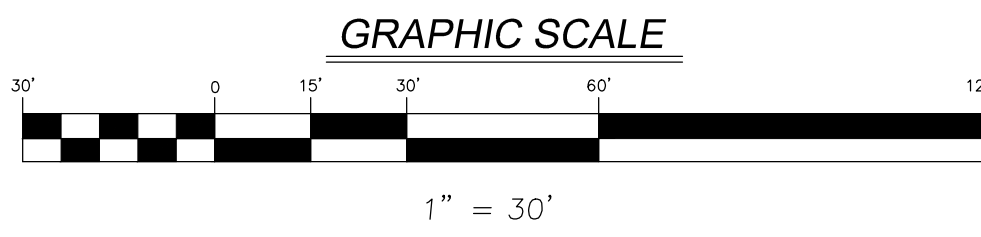
N:2022220616/Drawings/ACAD/LDS04/Sheet Drawings/C3.0 Lay/220616.dwg

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FINAL PLAT OF SUBDIVISION OF LIONS RECREATION CENTER

A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 39 NORTH,
RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS



SUBMITTED BY AND RETURN TO:
VILLAGE OF VILLA PARK,
20 ARDMORE AVE,
VILLA PARK, ILLINOIS 60181

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT
LATITUDE 41° 53' 14.80711" N
LONGITUDE 87° 58' 14.14847" W
ELLIPSOIDAL HEIGHT: 573.955 SFT
GROUND SCALE FACTOR 1.0000412399
ALL MEASUREMENTS ARE ON THE GROUND.



AREA

195,969 SQ. FT.
4.4988 ACRES

SURVEYOR'S NOTES:

- DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS.
- SUBDIVIDED LOTS AND EXTERIOR BOUNDARY CORNERS SHALL BE MONUMENTED WITH 5/8" CAPPED IRON RODS, UNLESS SHOWN OTHERWISE, IN CONFORMANCE WITH STATE STATUTES AND LOCAL SUBDIVISION CONTROL ORDINANCES WITHIN 18 MONTHS OF RECORDATION OF THE PLAT.

OWNER/DEVELOPER

VILLAGE OF VILLA PARK
20 Ardmore Ave,
Villa Park, Illinois 60181
630 834 8500

SURVEYOR

V3 Companies, Ltd.
7325 Janes Avenue
Woodridge, Illinois 60517
630 724 9200
Project Manager: Edward Murray
emurray@v3co.com

LEGEND

- SUBDIVISION BOUNDARY LINE
- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

B.S.L. BUILDING SETBACK LINE

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- R RADIUS
- (0.00') RECORD DATUM
- 0.00' CALCULATED DATUM
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD
- SCM SET CONCRETE MONUMENT

PIN NUMBERS:

06-10-104-017
06-10-104-014

PREPARED FOR:

Williams Architects
500 Park Boulevard, Suite 800
Itasca, IL 60143
630.221.1212

REVISIONS

NO.	DATE	DESCRIPTION
1.	07/17/23	REVISED COMMENT LETTER DATED 07/14/23

FINAL PLAT OF SUBDIVISION

LIONS RECREATION CENTER, VILLA PARK, IL

DRAFTING COMPLETED: 05-19-23 DRAWN BY: SPK PROJECT MANAGER: EJM
FIELD WORK COMPLETED: N/A CHECKED BY: EJM SCALE: 1" = 30'

Project No: 220616

Group No: VP04.1

SHEET NO.
1 of 2



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Village of Villa Park

Community & Economic Development
11 W Home Avenue, Villa Park, IL 60181

TO: Planning & Zoning Commission
FROM: Community & Economic Development Department
DATE: November 14, 2024
RE: **Petition PZ-24-21 | Zoning Ordinance Text Amendments | Signage in Residential Districts**

PETITIONER
Village of Villa Park Marc McLaughlin, AICP, GISP - Director of Community & Economic Development 20 S. Ardmore Avenue Villa Park, IL 60181

Request Summary

The Petitioner is requesting a Public Hearing to consider Text Amendments to Appendix C – Basic Zoning Ordinance to revise language for signage within residential districts to permit public, civic, or institutional uses with an approved Special Use permit to have one (1) sign per public building entrance leading to a lobby or other common area and one (1) monument sign per street frontage both being compliant with the size regulations for signage within nonresidential zoning districts.

Zoning Request

The following sections are proposed to be amended:

- Article 8 “Signs”, Section 8.5 “Signs in R Zoning Districts”:
 - Adding regulations to permit public, civic or institutional uses to permit one (1) wall sign per public building entrance leading to a lobby or other common area compliant with the wall signage area permitted in nonresidential districts
 - Adding regulations to permit public, civic or institutional uses to permit one (1) monument sign per street frontage compliant with monument sign area permitted in nonresidential districts

Notification

Legal Notice was published in the Daily Herald on October 28, 2024 in advance of the public hearing.

Project Summary

Public, civic or institutional uses within a residential zoning district are required to apply for a Special Use. Signage within residential zoning districts is currently limited to 32.0 square feet each for both wall signs and monument signs, however, larger buildings associated with public, civic or institutional uses may require larger signage for identification.

As seen with Albright Middle School and Villa Park Recreation Center a variation or signage area reduction were required to comply with current regulations. With the proposed text amendment these signs would have been permitted and not required variations or been approved as originally designed.

Findings

Per Sec. 11.2.9 – Review and Approval Criteria: The decision to amend the Zoning Ordinance text is a matter of legislative discretion that is not controlled by any one standard. In making recommendations and decisions about

Zoning Ordinance text amendments, the Planning and Zoning Commission and Village Board must consider at least the following factors:

1. Whether the proposed text amendment is in conformity with the policy and intent of the comprehensive plan; and
2. Whether the proposed Zoning Ordinance text amendment corrects an error or inconsistency in the Zoning Ordinance, meets the challenge of a changing condition or is necessary to implement established Village policy.

Staff Recommendation

Village staff has reviewed the petition and is supportive of the request.

Recommended Action

To recommend approval of PZ-24-21 for a Zoning Ordinance Text Amendment as outlined in Exhibit B.

Exhibit List

- A. Zoning Ordinance Text Amendment – Redline
- B. Zoning Ordinance Text Amendment - Clean

Sec. 8.5. - SIGNS IN R ZONING DISTRICTS

8.5.1. - Applicability

The regulations of this section apply to signs in R districts.

8.5.2. - Signs Allowed

The following signs are permitted in R districts on lots occupied by allowed nonresidential uses or allowed multi-unit (residential) buildings:

A. Wall Signs

1. Allowed nonresidential uses and allowed multi-unit (residential) buildings in R districts are allowed a maximum of one (1) wall sign per public building entrance leading to a lobby or other common area. Such signs may not exceed thirty-two (32) square feet in area.
2. [Public, civic or institutional uses with an approved special use permit are allowed a maximum of one \(1\) wall sign per public building entrance leading to a lobby or other common area, subject to the regulations of Sec. 8.6.3.](#)

B. Monument Signs

1. Allowed nonresidential uses and allowed multi-unit (residential) buildings in R districts are allowed a maximum of one monument sign per street frontage. Allowed monument signs are subject to a maximum height limit of six (6) feet and may not exceed thirty-two (32) square feet in area.
2. [Public, civic or institutional uses with an approved special use permit are allowed a maximum of one \(1\) monument sign per street frontage, subject to the regulations of Sec. 8.6.2.](#)

C. Electronic Message Display Panels

Electronic message display panels are prohibited in R districts, provided that on a lot occupied by an allowed public, civic or institutional use, the village board is authorized to approve a special use for one of the allowed signs to include a electronic message display panel. If approved, the electronic message display panel is subject to the regulations of [Sec. 8.7](#) as well as any additional regulations imposed by the village board.

Sec. 8.5. - SIGNS IN R ZONING DISTRICTS

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2. Public, civic or institutional uses with an approved special use permit are allowed a maximum of one (1) wall sign per public building entrance leading to a lobby or other common area, subject to the regulations of Sec. 8.6.3.

B. Monument Signs

1. Allowed nonresidential uses and allowed multi-unit (residential) buildings in R districts are allowed a maximum of one monument sign per street frontage. Allowed monument signs are subject to a maximum height limit of six (6) feet and may not exceed thirty-two (32) square feet in area.
2. Public, civic or institutional uses with an approved special use permit are allowed a maximum of one (1) monument sign per street frontage, subject to the regulations of Sec. 8.6.2.

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Electronic message display panels are prohibited in R districts, provided that on a lot occupied by an allowed public, civic or institutional use, the village board is authorized to approve a special use for one of the allowed signs to include a electronic message display panel. If approved, the electronic message display panel is subject to the regulations of [Sec. 8.7](#) as well as any additional regulations imposed by the village board.



Village of Villa Park

Community & Economic Development

11 W Home Avenue, Villa Park, IL 60181

TO: Planning & Zoning Commission
FROM: Community & Economic Development Department
DATE: November 14, 2024
RE: **Petition PZ-24-18 | Zoning Ordinance Text Amendments | Residential Driveway, Carport, Garage, and Accessory Dwelling Unit Text Amendment**

PETITIONER

Village of Villa Park
 Marc McLaughlin, AICP, GISP - Director of Community & Economic Development
 20 S. Ardmore Avenue
 Villa Park, IL 60181

Request Summary

The Petitioner is requesting a Public Hearing to consider Text Amendments to Appendix C – Basic Zoning Ordinance to revise language for residential garages and carports, driveways, add requirements for accessory dwelling units, and revise language for consistency related to the aforementioned throughout the Code.

Zoning Request

The following sections are proposed to be amended:

- Article 6 “Uses”, Section 6.10 “Accessory Uses and Structures”– Revising regulations regarding garage size and carports and remove duplicative content found elsewhere in the Code
- Article 6 “Uses”, Section 6.13 “Accessory Dwelling Unit” – Creation of standards to permit Accessory Dwelling Units
- Article 7 “Parking”, Section 7.2 “Minimum Parking Ratios” – Removal of requirement that required parking spaces be within garages
- Article 7 “Parking”, Section 7.8 “Driveway in RS and RD Districts” – Revision of regulations for residential driveways and parking pads
- Article 14 “Measurements and Definitions”, Section 14.1.9 “Setback” – Adding setback dimensions relocated from elsewhere in the Code
- Article 14 “Measurements and Definitions”, Section 14.2 “Definitions” – Adding/correcting definitions

Notification

Legal Notice was published in the Daily Herald on October 28, 2024 in advance of the public hearing.

Project Summary

Certain sections within the current Zoning Ordinance relating to regulations for driveways and garages have led to a lot of confusion and not permitted some permit applications to move forward which staff feels should have been permitted due to the lot size and development pattern commonly found within the Village. The Code revisions would allow additional flexibility for expansion of driveways and installation of garages if still compliant with bulk regulations of individual zoning district.

Accessory Dwelling Units would be permitted within a primary structure or as part of an accessory structure. The requirements would permit a maximum 900 square foot unit, must be clearly secondary to the primary unit, and must have a minimum of one (1) parking space dedicated to the accessory unit.

Proposed changes include:

- Article 6 “Uses”, Section 6.10 “Accessory Uses and Structures”
 - Removal of language that would prohibit Accessory Dwelling Units
 - Correction of staff titles
 - Revision of garage requirements to eliminate number, maximum square footage, maximum height of garage, maximum height of garage door, distance to principal building
 - Elimination of prohibition of carports
 - Revision of duplex garage size to be based on a percentage of the structure area rather than a maximum square footage area
- Article 6 “Uses”, Section 6.13 “Accessory Dwelling Unit”
 - Addition of Accessory Dwelling Unit requirements
- Article 7 “Parking”
 - Section 7.2 “Minimum Parking Ratios”
 - Revision of Table 7-1 to eliminate the requirement of required parking stalls to be located within a garage
 - Detached and attached dwelling units are to be combined into a single line within the table where detached, attached, and duplex were previously separate lines.
 - No changes were made to the number of parking stalls required for dwelling units.
 - Section 7.8 “Driveways and Parking Pads in RS and RD Districts”
 - Addition of “Parking Pads” to section title
 - Permission for parked vehicles to be on private driveways or parking pads as long as they do not encroach into the right-of-way
 - Revision that one driveway is permitted per street frontage rather than per lot
 - Distance of driveways from a signalized and non-signalized intersection are specified
 - Revised requirements for properties with greater than 100 linear feet of frontage to permit two driveway approaches on the same frontage
 - Modification to permit attached dwelling units to have one driveway per dwelling unit
 - Location changed to permit driveways in easements unless otherwise restricted
 - Addition of driveway maximum width of 24.0 feet
 - Addition to permit parking pads that would measure 9.0 feet by 20.0 feet
 - Addition of driveway apron and parking pad design requirements including a diagram depicting the requirements
 - Removal of requirement for nonconforming driveways that when greater than 50% of the driveway is replaced it become conforming
- Article 14 “Measurements and Definitions”
 - Section 14.1 “Measurements”
 - Addition of notes for detached garages that they must be setback five feet from property lines.
 - Section 14.2 “Definitions”
 - Addition of definition for Accessory Dwelling Unit
 - Renumbering of definitions

Findings

Per Sec. 11.2.9 – Review and Approval Criteria: The decision to amend the Zoning Ordinance text is a matter of legislative discretion that is not controlled by any one standard. In making recommendations and decisions about Zoning Ordinance text amendments, the Planning and Zoning Commission and Village Board must consider at least the following factors:

1. Whether the proposed text amendment is in conformity with the policy and intent of the comprehensive plan; and
2. Whether the proposed Zoning Ordinance text amendment corrects an error or inconsistency in the Zoning Ordinance, meets the challenge of a changing condition or is necessary to implement established Village policy.

Staff Recommendation

Village staff has reviewed the petition and is supportive of the request.

Recommended Action

To recommend approval of PZ-24-18 for a Zoning Ordinance Text Amendment as outlined in Exhibit B.

Exhibit List

- A. Zoning Ordinance Text Amendment – Redline
- B. Zoning Ordinance Text Amendment - Clean

6.10.1. - Generally Applicable Regulations

- A. Accessory uses and structures are allowed only in connection with lawfully established principal uses.
- B. Allowed uses and structures are limited to those expressly regulated in this section as well as those that, in the determination of the community development director, satisfy all of the following criteria:
 - 1. They are customarily found in conjunction with the subject principal use or principal building.
 - 2. Accessory structures attached to the principal building shall comply with all yard and other requirements applicable to the principal building.
 - 3. They are subordinate in building area, intensity of use or purpose ~~and clearly incidental to the principal building or of the~~ principal use of the property served.
 - 4. They serve a necessary function for or contribute to the comfort, safety or convenience of occupants of the principal use.
- C. The following accessory uses are prohibited:
 - 1. Outdoor parking of trucks, buses, trailers or boats, except as provided in [section 7.7](#).
 - 2. Outdoor storage, except as specifically permitted by the district regulations.
- D. Accessory structures may be established in conjunction with or after the principal building or use. They may not be established before the principal building or use is in place except where authorized by the ~~Director of Community & Economic Development~~ [Director](#) ~~or their designee~~ [Director](#).
- E. Accessory uses and structures must be located on the same lot as the principal use to which they are accessory, unless otherwise expressly stated.
- F. Accessory structures and uses may not be located within any public utility easement, whether platted or implied without written permission from the Director of Public Works.
- G. Accessory Structures and Uses are subject to the lot and building regulations of the zoning district in which they are located.

~~H. An accessory structure may not include any area to be used for human habitation (i.e., living, sleeping, eating, or cooking).~~

6.10.4. – Residential Garages and Carports

A. RS Districts.

The residential garage and carport regulations of this subsection apply in RS districts. The regulations are primarily intended to address the parking and storage of vehicles owned and operated by the residents of the premises along with limited storage of garden equipment and household items incidental to the principal use.

- ~~1. Only one (1) attached or detached garage is allowed on any RS-zoned lot.~~
- ~~12.~~ The exterior dimensions of any garage in an RS district may not exceed ~~eight hundred sixty-four (864) square feet in area or~~ seventy-five (75) percent of the foundation area of the principal building, ~~provided that a garage area of up to five hundred thirty (530) square feet (exterior dimension) is permitted~~ regardless of the size of the principal building.
- ~~3.~~ The height of a ~~detached garage may not exceed twenty-one (21) feet or the height of the principal dwelling unit, whichever is less. For purposes of this provision, height is measured from the garage floor to the top of the highest structural member.~~
- ~~4.~~ The height of garage door may not exceed eight (8) feet.
- ~~5.~~ No detached garage may be located within five (5) feet of any principal building.
- ~~26.~~ Detached garage must be set back at least ten (10) feet from lot lines abutting a front yard ~~of a building on~~ an adjacent lot. Otherwise, the minimum side and rear setback for a detached garage is five (5) feet.
- ~~3.~~ ~~For purposes of this provision, s~~Setbacks are measured from the garage foundation.
- ~~47.~~ Garages may not be located within any public utility easement, whether platted or implied.
- ~~85.~~ All garages must be constructed with eaves, gutters and downspouts that are directed away from adjacent properties. ~~See Table 14.1.~~

9. Carports are prohibited except in those cases where a carport is an integral part of an architectural design of an existing or proposed principal building (e.g., porte cochere).

106. No attached garage shall be converted to livable space without conformance to [section 7.2](#), Minimum Parking Ratios.

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B. Duplexes.

Garages associated with duplex (two-household) dwellings in RD-7.5 and RM-9 districts may not exceed five hundred twenty-eight (528) square feet in area. The exterior dimensions of any garage in an RD-7.5 and RM-9 district may not exceed eighty-five (85) percent of the foundation area of the principal building.

6.13. Accessory Dwelling Units. Accessory dwelling units are permitted in all residential zoning districts within a principal or accessory structure subject to approval of site plan review and building permit issuance and provided that the following standards are met.

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A. Accessory Dwelling Unit.

1. Location. An accessory dwelling unit located in a principal structure may be located anywhere within a principal structure. An accessory dwelling unit located in an accessory structure is allowed in the rear yard or exterior side yard only.
2. Number. The number of accessory dwelling units on a lot shall be no greater than the number of principal dwelling units on a lot.
3. Size. The maximum size of an accessory dwelling unit shall be 900 square feet.
4. Design. An accessory dwelling unit shall be designed to be clearly secondary to the principal dwelling unit on the site. For accessory dwelling units located in an accessory structure, the exterior materials of the dwelling unit must be compatible with the primary dwelling unit, including siding and trim materials, window design, roof shape, roof pitch, and roof material.
5. Parking. Each accessory dwelling unit shall have a minimum of one (1) dedicated parking space.

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ARTICLE 7. - PARKING

Sec. 7.2. - MINIMUM PARKING RATIOS

Off-street motor vehicle parking spaces must be provided in accordance with the minimum ratios established in Table 7-1. See Sec. 7.4 for an explanation of exemptions and allowed

reductions of minimum motor vehicle parking requirements. See Sec. 7.5 For additional information about bicycle parking requirements.

Table 7-1: Minimum Parking Ratios

USE CATEGORY	Unit of Measure (spaces per)	Minimum Parking Ratio	Additional Requirements
Subcategory			
Specific Use			
RESIDENTIAL			
Household Living			
Detached <u>or attached dwelling unit</u> <u>house</u>	Dwelling unit	2.0	Required spaces must be in garage
<u>Attached house</u>	<u>Dwelling unit</u>	<u>2.0</u>	<u>Required spaces must be</u> Formatted Table
<u>Duplex</u>	<u>Dwelling unit</u>	<u>2.0</u>	<u>Required spaces must be</u> <u>garage</u> Formatted: Right: 0.38"

Sec. 7.8. - DRIVEWAYS AND PARKING PADS IN RS AND RD DISTRICTS

7.8.1. - Applicability

- A. Except as otherwise expressly stated, the regulations of this section apply to residential uses in all RS and RD districts per dwelling unit.
- B. Parked vehicles for single-unit, two-unit, and townhouse dwellings are permitted to park on private driveways and parking pads provided that the parked vehicles do not encroach into the right-of-way.

7.8.2. - Number

- A. No more than one driveway is allowed per lot street frontage.

~~B. Driveways shall be located at least sixty (60) feet from a signalized intersection, and thirty (30) feet from all other intersections.~~

~~C. Lots with a street frontage of at least one hundred (100) linear feet of frontage may incorporate one additional approach along that frontage. On properties for which more than one (1) approach is permitted, the distance between the approaches shall be a minimum of 50 feet measured at the inside edge, except as otherwise expressly stated for duplex dwellings and circular drives.~~

~~DB. Lots occupied by duplex or attached dwelling units may have up to one driveway per dwelling unit.~~

~~C. Circular drives are subject to the regulations of 7.8.5.~~

7.8.3. - Location

~~A. Driveways and parking pads are allowed in easements, unless otherwise restricted.~~

~~A. Required off-street parking spaces for residential dwelling units in RS and RD districts must be located in a garage that is served by a driveway that complies with the regulations of this section.~~

~~B. Driveways located in street yards may not terminate in front of any portion of the dwelling unit, except as follows:~~

~~1. Driveways leading to an attached garage may extend into the street yard in front of the main (living) portion of the dwelling unit by a distance of up to three (3) feet.~~

~~2. A driveway extension may be located in a street yard to accommodate a maximum of two (2) vehicles side-by-side in the street yard. The driveway extension is limited to a maximum area of nine (9) feet in width by eighteen (18) feet in length, excluding any angled or flared portions of the extension. This driveway extension is permitted only on lots that cannot accommodate side or rear yard parking under the applicable regulations of this section and of the configuration of the subject property.~~

7.8.4. - Width Dimensions

~~A. Driveways must be at least nine (9) feet in width measured at the property line, and may not exceed the maximum driveway width specified in 7.9.6.~~

B. ~~_____~~ Driveways shall be a maximum of twenty-four (24) feet measured at the property line.

C. Parking pads shall not exceed nine (9) feet in width by twenty (20) feet in depth.

~~Except as otherwise expressly stated in this section, driveways in street yards may not exceed the width of the garage to which the driveway leads or thirty (30) feet, whichever is less. Driveways in street yards leading to off-street parking areas in rear yards may not exceed twelve (12) feet in width when leading to one (1) parking space or twenty-four (24) feet in width when leading to two (2) or more spaces.~~

7.8.5. - ~~Circular Drives~~ Visibility at Driveways

A. See Sec. 9.3.2.

~~Circular drives are permitted only on lots with at least seventy-five (75) feet of street frontage.~~

B. ~~_____~~ Circular drives may not exceed twelve (12) feet in width, excluding flares, except for that portion of the drive leading to a required off-street parking area.

C. ~~_____~~ The interior radius of a circular drive must be at least thirty (30) feet.

D. ~~_____~~ Low-growing evergreen shrubs must be installed and maintained along the length of the circular drive.

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7.8.6. - Driveway Turnarounds

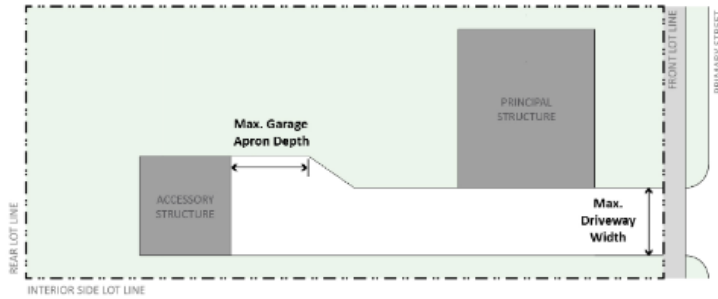
Driveway turnarounds are prohibited in street yards except when the lot has frontage on a major street (as designated by the village) and the lot cannot accommodate a turnaround area outside of the street yard because of the applicable regulations of this section and the configuration of the subject property. Street yard driveway turnarounds may not exceed fourteen (14) feet in length or the width of the existing driveway, excluding flares.

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7.8.7. - Driveway and Parking Pad Design

A. A driveway apron the width of the garage, carport, or parking pad serviced by the driveway is permitted to extend up to twenty (20) feet in depth from the garage doors or rear edge of the carport or parking pad before tapering back to the required driveway width, see Figure 7-1 Garage Apron Width.

Figure 7-1



- B.** Adequate provisions must be made for the disposal of stormwater so that water will not flow into adjacent property. To keep water runoff on site and prevent runoff towards adjacent properties, new or replacement driveways must meet existing grades along the property line and then slope one-eighth-inch to one-fourth-inch per foot away from the property line and toward the center of the driveway. Any curbs along driveway must be constructed so as to not dam water on adjacent properties.
- CB.** Maximum lot coverage shall comply with Table 2-3: Lot and Building Regulations (R districts).
- DC.** Residential driveways and parking areas must comply with the surfacing requirements of [7.9.4](#).
- DE.** All new off-street parking facilities, including driveways, must meet the requirements of this section. ~~Except as otherwise expressly stated in this section, all existing driveways not in conformance with this section must come into conformance at any time that fifty (50) percent or more of a driveway is surfaced or resurfaced.~~
- FE.** Attached garages may not be converted into a living area unless the required off-street parking spaces are being provided for elsewhere on the lot ~~and the existing driveway in front of the converted area is removed.~~
- FG.** Driveways may not be designed or constructed in any manner that will interfere with planned or existing parkway or right-of-way improvements or in a way that will create traffic hazards.

7.9.2. - Parking Stall Sizes and Parking Lot Geometrics

Off-street parking areas are subject to the dimensional requirements of Table 7-4 (see also Figure 7-4). The ~~Director of eCommunity & Economic dDevelopment~~ ~~director or their designee~~ is authorized to establish dimensions for parking configurations not shown.

Figure 7-42. Parking Area Dimensions

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14.1.9. - Setbacks

C. Permitted Obstructions and Encroachments

Table 14-1: Permitted Setback Obstructions/Encroachments

	Street (Front or Side)	Interior Side	Rear	Additional Notes
Garages, detached	No	Yes	Yes	<u>Five-foot setback required.</u> See also Sec. <u>6.10.4.</u>

14.2.5. - Words and Terms Beginning with "A"

B. Accessory dwelling unit: A residential dwelling unit, but not a mobile home, located on the same lot as a single-unit dwelling, either within the same building as the single-dwelling unit or in a detached accessory building. Secondary dwelling units shall be developed in accordance with the standards set forth in Sec. 6.13.

C. **Accessory structure or use:** A use or structure that meets the criteria established in 6.10.1.

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D. **Adjacent:** Lying near or in the immediate vicinity.

E. **Agent:** A person duly authorized to act on behalf of the owner of the subject property.

F. **Alley:** A public or private street that affords only a secondary means of access to abutting property.

G. **Amateur Radio Facility:** Any tower or antenna used for non-commercial radio communications (transmission and reception) maintained by an FCC-licensed amateur radio operator.

H.G. **Amusement ride:** Any mechanized device, or combination of devices, including electrical equipment that is an integral part of the device or devices, that carries passengers along, around, or over a fixed or restricted course for the primary purpose of giving its passengers amusement, pleasure, thrills, or excitement.

H.I. **Annual (plant):** A plant that completes its life cycle in one year or less.

J. **Apiary:** An enclosure used to house bees.

K.J. **Applicant:** The owner of the subject property or an agent authorized by the subject property owner to submit an application on the owner's behalf.

14.2.11. - Words and Terms Beginning with "G"

A. **Garage, private residential:** A detached, enclosed accessory structure or portion of the principal building designed, arranged, used or intended to use for the parking and storage of vehicles owned and operated by the residents of the subject property.

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6.10.1. - Generally Applicable Regulations

- A. Accessory uses and structures are allowed only in connection with lawfully established principal uses.
- B. Allowed uses and structures are limited to those expressly regulated in this section as well as those that, in the determination of the community development director, satisfy all of the following criteria:
 - 1. They are customarily found in conjunction with the subject principal use or principal building.
 - 2. Accessory structures attached to the principal building shall comply with all yard and other requirements applicable to the principal building.
 - 3. They are subordinate in building area, intensity of use or purpose of the principal use of the property served.
 - 4. They serve a necessary function for or contribute to the comfort, safety or convenience of occupants of the principal use.
- C. The following accessory uses are prohibited:
 - 1. Outdoor parking of trucks, buses, trailers or boats, except as provided in [section 7.7](#).
 - 2. Outdoor storage, except as specifically permitted by the district regulations.
- D. Accessory structures may be established in conjunction with or after the principal building or use. They may not be established before the principal building or use is in place except where authorized by the Director of Community & Economic Development or their designee.
- E. Accessory uses and structures must be located on the same lot as the principal use to which they are accessory, unless otherwise expressly stated.
- F. Accessory structures and uses may not be located within any public utility easement, whether platted or implied without written permission from the Director of Public Works.
- G. Accessory Structures and Uses are subject to the lot and building regulations of the zoning district in which they are located.

6.10.4. – Residential Garages and Carports

A. **RS Districts.**

The residential garage and carport regulations of this subsection apply in RS districts. The regulations are primarily intended to address the parking and storage of vehicles owned and operated by the residents of the premises along with limited storage of garden equipment and household items incidental to the principal use.

1. The exterior dimensions of any garage in an RS district may not exceed seventy-five (75) percent of the foundation area of the principal building regardless of the size of the principal building.
2. Detached garage must be set back at least ten (10) feet from lot lines abutting a front yard of an adjacent lot. Otherwise, the minimum side and rear setback for a detached garage is five (5) feet.
3. Setbacks are measured from the garage foundation.
4. Garages may not be located within any public utility easement, whether platted or implied.
5. All garages must be constructed with eaves, gutters and downspouts that are directed away from adjacent properties.
6. No attached garage shall be converted to livable space without conformance to [section 7.2](#), Minimum Parking Ratios.

B. *Duplexes.*

The exterior dimensions of any garage in an RD-7.5 and RM-9 district may not exceed eighty-five (85) percent of the foundation area of the principal building.

6.13. Accessory Dwelling Units. Accessory dwelling units are permitted in all residential zoning districts within a principal or accessory structure subject to approval of site plan review and building permit issuance and provided that the following standards are met.

A. Accessory Dwelling Unit.

1. Location. An accessory dwelling unit located in a principal structure may be located anywhere within a principal structure. An accessory dwelling unit located in an accessory structure is allowed in the rear yard or exterior side yard only.
2. Number. The number of accessory dwelling units on a lot shall be no greater than the number of principal dwelling units on a lot.

3. Size. The maximum size of an accessory dwelling unit shall be 900 square feet.
4. Design. An accessory dwelling unit shall be designed to be clearly secondary to the principal dwelling unit on the site. For accessory dwelling units located in an accessory structure, the exterior materials of the dwelling unit must be compatible with the primary dwelling unit, including siding and trim materials, window design, roof shape, roof pitch, and roof material.
5. Parking. Each accessory dwelling unit shall have a minimum of one (1) dedicated parking space.

ARTICLE 7. - PARKING

Sec. 7.2. - MINIMUM PARKING RATIOS

Off-street motor vehicle parking spaces must be provided in accordance with the minimum ratios established in Table 7-1. See Sec. 7.4 for an explanation of exemptions and allowed reductions of minimum motor vehicle parking requirements. See Sec. 7.5 For additional information about bicycle parking requirements.

Table 7-1: Minimum Parking Ratios

USE CATEGORY	Unit of Measure (spaces per)	Minimum Parking Ratio	Additional Requirements
Subcategory			
Specific Use			
RESIDENTIAL			
Household Living			
Detached or attached dwelling unit	Dwelling unit	2.0	

Sec. 7.8. - DRIVEWAYS AND PARKING PADS IN RS AND RD DISTRICTS

7.8.1. - Applicability

- A. Except as otherwise expressly stated, the regulations of this section apply to residential uses in all RS and RD districts per dwelling unit.
- B. Parked vehicles for single-unit, two-unit, and townhouse dwellings are permitted to park on private driveways and parking pads provided that the parked vehicles do not encroach into the right-of-way.

7.8.2. - Number

- A. No more than one driveway is allowed per street frontage.
- B. Driveways shall be located at least sixty (60) feet from a signalized intersection, and thirty (30) feet from all other intersections.
- C. Lots with a street frontage of at least one hundred (100) linear feet of frontage may incorporate one additional approach along that frontage. On properties for which more than one (1) approach is permitted, the distance between the approaches shall be a minimum of 50 feet measured at the inside edge.
- D. Lots occupied by duplex or attached dwelling units may have up to one driveway per dwelling unit.

7.8.3. - Location

- A. Driveways and parking pads are allowed in easements, unless otherwise restricted.

7.8.4. - Dimensions

- A. Driveways must be at least nine (9) feet in width measured at the property line.
- B. Driveways shall be a maximum of twenty-four (24) feet measured at the property line.
- C. Parking pads shall not exceed nine (9) feet in width by twenty (20) feet in depth.

7.8.5. - Visibility at Driveways

- A. See Sec. 9.3.2.

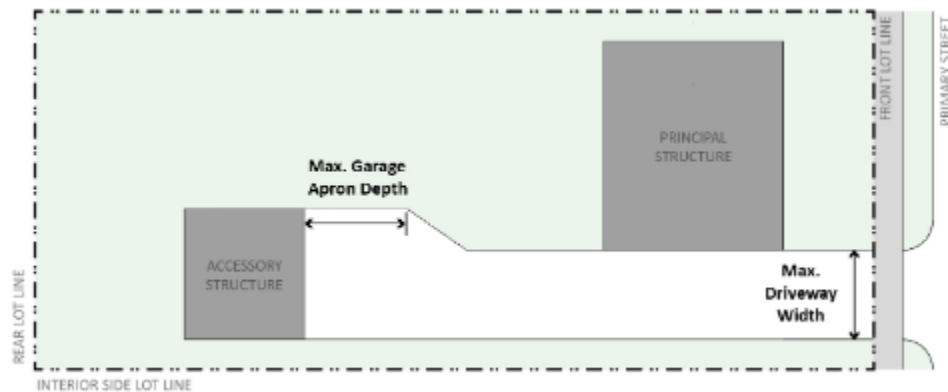
7.8.6. - Driveway Turnarounds

Driveway turnarounds are prohibited in street yards except when the lot has frontage on a major street (as designated by the village) and the lot cannot accommodate a turnaround area outside of the street yard because of the applicable regulations of this section and the configuration of the subject property. Street yard driveway turnarounds may not exceed fourteen (14) feet in length or the width of the existing driveway, excluding flares.

7.8.7. - Driveway and Parking Pad Design

- A. A driveway apron the width of the garage, carport, or parking pad serviced by the driveway is permitted to extend up to twenty (20) feet in depth from the garage doors or rear edge of the carport or parking pad before tapering back to the required driveway width, see Figure 7-1 Garage Apron Width.

Figure 7-1



- B. Adequate provisions must be made for the disposal of stormwater so that water will not flow into adjacent property. To keep water runoff on site and prevent runoff towards adjacent properties, new or replacement driveways must meet existing grades along the property line and then slope one-eighth-inch to one-fourth-inch per foot away from the property line and toward the center of the driveway. Any curbs along driveway must be constructed so as to not dam water on adjacent properties.
- C. Maximum lot coverage shall comply with Table 2-3: Lot and Building Regulations (R districts).
- D. Residential driveways and parking areas must comply with the surfacing requirements of [7.9.4](#).

- E. All new off-street parking facilities, including driveways, must meet the requirements of this section.
- F. Attached garages may not be converted into a living area unless the required off-street parking spaces are being provided for elsewhere on the lot.
- G. Driveways may not be designed or constructed in any manner that will interfere with planned or existing parkway or right-of-way improvements or in a way that will create traffic hazards.

7.9.2. - Parking Stall Sizes and Parking Lot Geometrics

Off-street parking areas are subject to the dimensional requirements of Table 7-4 (see also Figure 7-2). The Director of Community & Economic Development or their designee is authorized to establish dimensions for parking configurations not shown.

Figure 7-2. Parking Area Dimensions

14.1.9. - Setbacks

C. Permitted Obstructions and Encroachments

Table 14-1: Permitted Setback Obstructions/Encroachments

	Street (Front or Side)	Interior Side	Rear	Additional Notes
Garages, detached	No	Yes	Yes	Five-foot setback required. See also Sec. 6.10.4 .

14.2.5. - Words and Terms Beginning with "A"

- B. Accessory dwelling unit: A residential dwelling unit, but not a mobile home, located on the same lot as a single-unit dwelling, either within the same building as the single-dwelling unit or in a detached accessory building. Secondary dwelling units shall be developed in accordance with the standards set forth in Sec. 6.13.
- C. **Accessory structure or use:** A use or structure that meets the criteria established in [6.10.1](#).

- D. **Adjacent:** Lying near or in the immediate vicinity.
- E. **Agent:** A person duly authorized to act on behalf of the owner of the subject property.
- F. **Alley:** A public or private street that affords only a secondary means of access to abutting property.
- G. **Amateur Radio Facility:** Any tower or antenna used for non-commercial radio communications (transmission and reception) maintained by an FCC-licensed amateur radio operator.
- H. **Amusement ride:** Any mechanized device, or combination of devices, including electrical equipment that is an integral part of the device or devices, that carries passengers along, around, or over a fixed or restricted course for the primary purpose of giving its passengers amusement, pleasure, thrills, or excitement.
- I. **Annual (plant):** A plant that completes its life cycle in one year or less.
- J. **Apiary:** An enclosure used to house bees.
- K. **Applicant:** The owner of the subject property or an agent authorized by the subject property owner to submit an application on the owner's behalf.

14.2.11. - Words and Terms Beginning with "G"

- A. **Garage, private residential:** A detached, enclosed accessory structure or portion of the principal building designed, arranged, used or intended to use for the parking and storage of vehicles owned and operated by the residents of the subject property.